

**GENERAL NOTES**

1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000.
2. The surveyor, as required by state law, is responsible for surveying information only and bears no responsibility for the accuracy of the engineering data, such as floodplain and floodway locations and minimum finished floor elevations data placed on this plat.
3. Unless otherwise noted all property corners are set 5/8-inch capped iron rods marked "BHB INC".
4. Distances shown are U.S. Survey feet displayed in surface values.
5. Water service shall be by private water wells.
6. Sewer service shall be by private on-site sewer facilities.
7. All onsite sewage facilities and water wells must be properly permitted through Parker County.
8. Future fence construction cannot encroach within the variable width drainage easement.

**LEGEND**

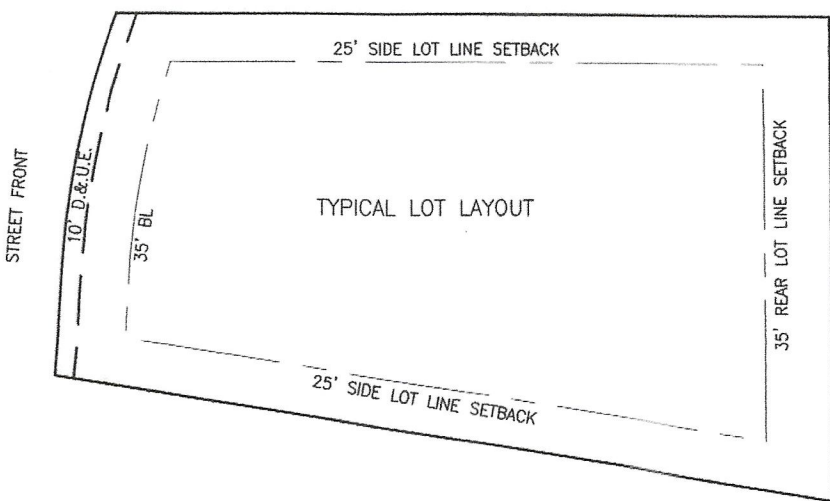
- BHB..... 5/8" Capped Iron Rod Found Marked "BHB INC"
- BL..... Building Line
- D & U.E..... Drainage and Utility Easement
- D.R.P.C.T..... Deed Records, Parker County, Texas
- IRF..... Iron Rod Found
- IRS..... 5/8" Capped Iron Rod Set Marked "BHB INC"
- POB..... Point of Beginning
- P.R.P.C.T..... Plat Records, Parker County, Texas
- VAM..... Visibility Access Maintenance

**FLOOD ZONE NOTE**

Subject property lies within Zone X - Areas determined to be outside the 0.2% annual chance floodplain per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0425F, Map Revised April 5, 2019.

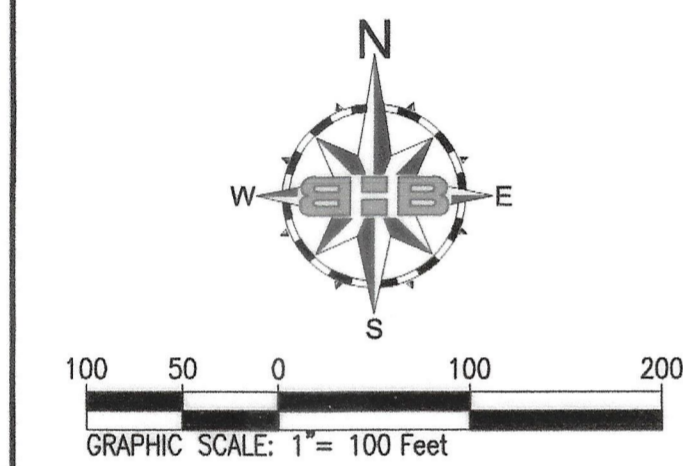
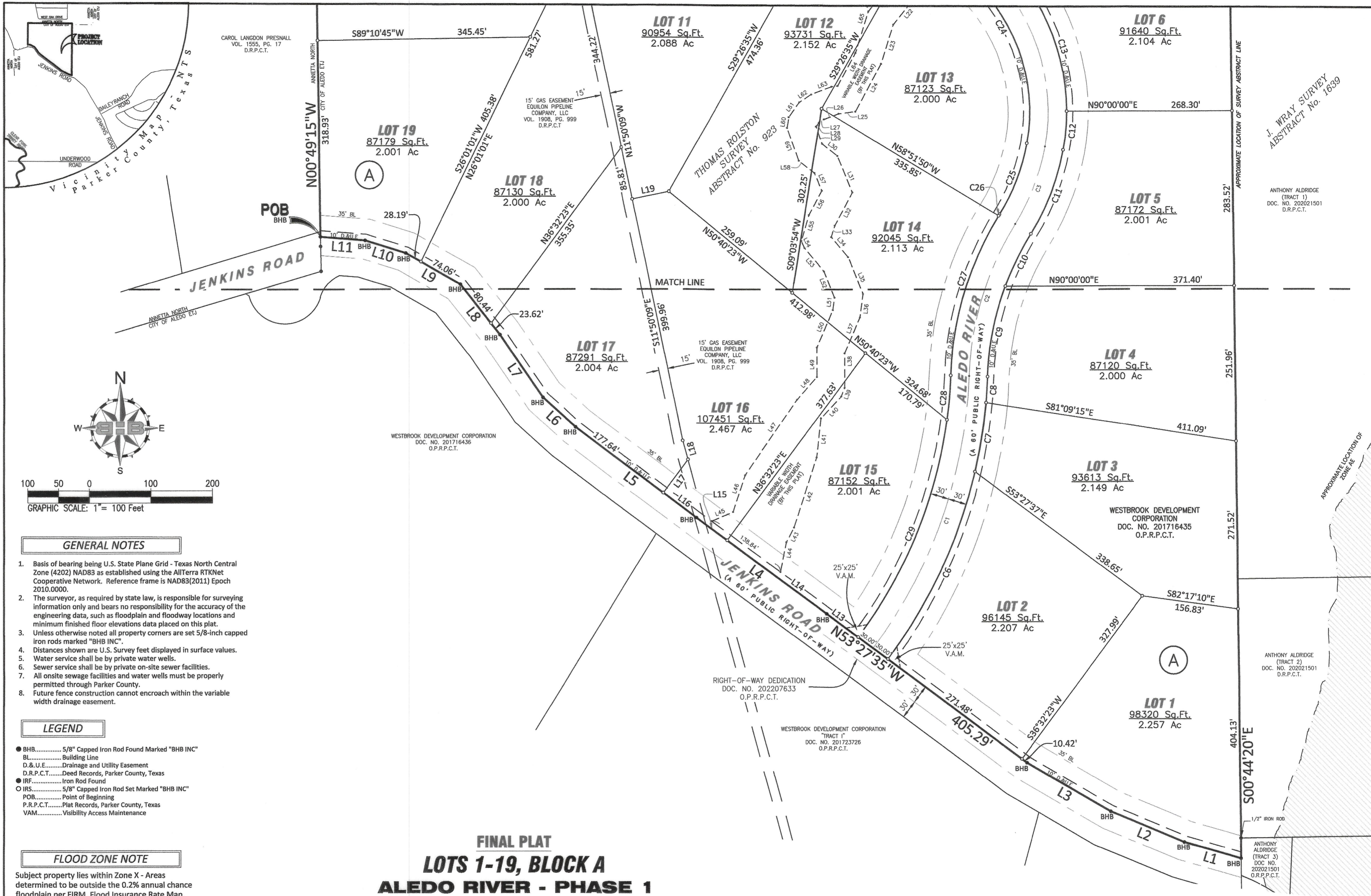
**SURVEYOR**  
**BHB**  
**BAIRD, HAMPTON & BROWN**  
 engineering and surveying

**OWNER/DEVELOPER:**  
 WESTBROOK PROJECT MANAGEMENT, LLC  
 ATTN: FRED DISNEY  
 1015 CHAMPIONS DR #1400  
 ALEDO, TEXAS 76008  
 Phone (817) 390-0202



**FINAL PLAT**  
**LOTS 1-19, BLOCK A**  
**ALEDO RIVER - PHASE 1**  
 Being a 43.159 acre tract of land situated within the  
 James S. Ozer Survey, Abstract No. 1029  
 Thomas Rolston Survey, Abstract No. 923  
 Eliza Ozer Survey, Abstract No. 1031  
 City of Aledo ETJ, Parker County, Texas  
 MAY 2022  
 SHEET 1 OF 3





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**BAIRD, HAMPTON & BROWN**  
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**FINAL PLAT**  
**LOTS 1-19, BLOCK A**  
**ALEDO RIVER - PHASE 1**  
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 James S. Oxer Survey, Abstract No. 1029  
 Thomas Rolston Survey, Abstract No. 923  
 Eliza Oxer Survey, Abstract No. 1031  
 City of Aledo ETJ, Parker County, Texas

**MAY 2022**  
**SHEET 2 OF 3**

Attn: Toby Stock, RPLS  
 949 Hilltop Drive, Weatherford, TX 76086  
 tstock@bhbinco.com • 817.596.7575 • bhbinco.com  
 TBPELS Firm #44, #10011300, #10011302, #10194146

F-231



STATE OF TEXAS  
COUNTY OF PARKER:

WHEREAS, WESTBROOK PROJECT MANAGEMENT, LLC., being the owner of a tract of land situated in the City of Aledo ETJ, Parker County, Texas to wit:

BEING a 43.159 acre tract of land situated in the James S. Ozer Survey, Abstract Number 1029, the Eliza Ozer Survey, Abstract Number 1031, and the Thomas Rolston Survey, Abstract Number 923, said tract being a portion of Tract described in the deed to Westbrook Development Corporation, as recorded in Document Number 201716435, Official Public Records, Parker County, Texas (O.P.R.P.C.T.), said tract being more particularly described by metes and bounds as follows: (Bearings referenced to U.S. State Plane Grid 1983 - Texas North Central Zone (4202) NAD83 as established using GPS Technology in conjunction with the AllTerra RTK Cooperative Network. All distances are at ground):

BEGINNING at a 5/8-inch iron rod marked "BHB INC" set (CIRS) for the southwest corner of the herein described tract, being on the east line of a tract of land described in deed to Carol Langdon Presnall, as recorded in Volume 1555, Page 17, Deed Records, Parker County, Texas (D.R.P.C.T.), same being on the north right-of-way line of Jenkins Road (a 60 foot public right-of-way);

THENCE North 0°49'15" West, departing the north right-of-way of said Jenkins Road and with the common line of said Westbrook and said Presnall tract, a distance 724.86 feet to a 5/8-inch capped iron rod marked "BHB INC" (CIRS) set for the common corner of said Westbrook and Presnall tract, same being the southwest corner of Lot 6, Block 13, of West Oak Homesites, Section 2, as recorded in Cabinet A, Page 218 Plat Records, Parker County, Texas (P.R.P.C.T.);

THENCE North 89°11'04" East, with the north line of said Westbrook tract and the south line of said West Oak Homesites, Section 2, at a distance of 728.63 passing the southeast corner of said West Oak Homesites, Section 2, same being the southwest corner of West Oak Homesites Section 1, as recorded in Volume 360A, Page 34 (P.R.P.C.T.), and continuing for a total distance of 1,483.35 feet a 5/8-inch iron rod found for the northeast corner of said Westbrook tract, same being the southeast corner of said West Oak Homesites, Section 1, and being on the west line of Lot 15, Indian Springs, Cabinet B, Page 229, (P.R.P.C.T.);

THENCE South 00°44'20" East, with the east line of said Westbrook tract, and the west line of a tract of land described in deed to Anthony Aldridge, as recorded in Document Number 202021501, a distance of 1,753.36 feet to a CIRS in the north right-of-way line of said Jenkins Road;

THENCE with the north right-of-way line of said Jenkins Roads, the following courses and distances:

North 73°46'48" West, a distance of 95.93 feet to a CIRS;

North 67°31'25" West, a distance of 129.38 feet to a CIRS;

North 59°46'23" West, a distance of 157.24 feet to a CIRS;

North 53°27'35" West, a distance of 405.29 feet to a CIRS;

North 53°44'36" West, a distance of 262.52 feet to a CIRS;

North 53°14'48" West, a distance of 244.84 feet to a CIRS;

North 47°57'22" West, a distance of 71.52 feet to a CIRS;

North 34°21'48" West, a distance of 123.41 feet to a CIRS;

North 38°11'41" West, a distance of 104.06 feet to a CIRS;

North 60°11'14" West, a distance of 102.25 feet to a CIRS;

North 72°39'49" West, a distance of 69.10 feet to a CIRS;

North 85°23'48" West, a distance of 72.85 feet to the POINT OF BEGINNING and containing 1,880,003 square feet or 43.159 acres of land, more or less.

NOW THEREFORE KNOW ALL PERSONS BY THIS PRESENT:

THAT, WESTBROOK PROJECT MANAGEMENT LLC., owner, do hereby adopt this final plat designating the above described property as LOTS 1-19, BLOCK A, ALEDO RIVER - PHASE 1, an addition to Parker County, Texas and does hereby dedicate without reservation to Parker County for public use; the streets, rights-of-way, parks, easements and any other public areas shown on the plat.

WITNESS UNDER MY HAND THIS the 3<sup>RD</sup> day of MAY 2022.

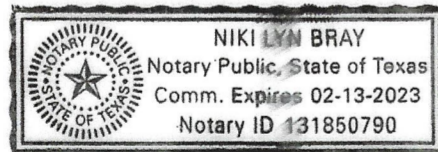
By: Fred Disney  
Manager

STATE OF TEXAS: §  
COUNTY OF: Parker §

Before me, the undersigned, a Notary Public for the State of Texas, appeared Fred Disney known to be the person whose name is subscribed hereto.

Given under my hand and seal of office this the 3 day of May 2022.

Niki Lyn Bray  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



SURVEYOR'S CERTIFICATION

I, Toby G. Stock, do hereby certify that this plat is prepared from an actual on the ground survey of the land, and that the corner monuments shown hereon were found or properly placed under my personal supervision in accordance with the platting rules and regulations of the City of Aledo, Texas.

Toby G. Stock, Date: May 2, 2022  
Registered Professional Land Surveyor No. 6412

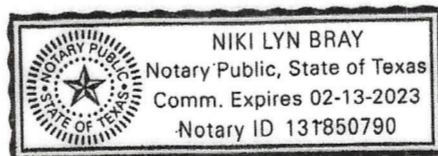


STATE OF TEXAS §  
COUNTY OF PARKER §

Before me, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared Toby G. Stock, Surveyor, known to me to be the person whose name is subscribed to this plat.

Given under my hand and seal of office, this 2 day of May 2022.

Niki Lyn Bray  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



FLOODPLAIN RESTRICTION:  
THE CITY OF ALEDO RESERVES THE RIGHT TO REQUIRE ADDITIONAL MINIMUM FINISHED FLOOR ELEVATIONS ON ANY LOT CONTAINED WITHIN THIS SUBDIVISION. THE MINIMUM ELEVATIONS SHOWN ARE BASED ON THE MOST CURRENT INFORMATION AVAILABLE AT THE TIME THE PLAT IS FILED AND MAY BE SUBJECT TO CHANGE.

FLOODPLAIN/DRAINAGE-WAY MAINTENANCE:  
THE EXISTING CREEK, STREAM, RIVER, OR DRAINAGE CHANNEL TRAVERSING ALONG OR ACROSS PORTIONS OF THIS ADDITION, WILL REMAIN UNOBSTRUCTED AT ALL TIMES AND WILL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS WHOSE LOTS ARE TRAVERSED BY, OR ADJACENT TO, THE DRAINAGE-WAYS. PARKER COUNTY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE, EROSION CONTROL, AND/OR OPERATION OF SAID DRAINAGE-WAYS. PROPERTY OWNERS SHALL KEEP THE ADJACENT DRAINAGE-WAYS TRAVERSING THEIR PROPERTY CLEAN AND FREE OF DEBRIS, SILT OR OTHER SUBSTANCES WHICH WOULD RESULT IN UNSANITARY CONDITIONS, AND THE COUNTY SHALL HAVE THE RIGHT OF ENTRY FOR THE PURPOSE OF INSPECTING THE MAINTENANCE WORK BY THE PROPERTY OWNERS. THE DRAINAGE-WAYS ARE OCCASIONALLY SUBJECT TO STORM WATER OVERFLOW AND/OR BANK EROSION THAT CANNOT BE DEFINED. PARKER COUNTY SHALL NOT BE LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THOSE PHENOMENA, NOR THE FAILURE OF ANY STRUCTURE(S) WITHIN THE DRAINAGE-WAYS. THE DRAINAGE-WAY CROSSING EACH LOT IS CONTAINED WITHIN THE FLOODPLAIN EASEMENT LINE AS SHOWN ON THE PLAT.

DRIVEWAY ACCESS ALONG JENKINS ROAD:  
TO MINIMIZE TRAFFIC HAZARDS CREATED BY NUMEROUS INTERSECTIONS (DRIVEWAYS) ALONG JENKINS, DIRECT VEHICULAR ACCESS FROM LOTS 2 & 15, BLOCK A TO JENKINS ROAD WILL NOT BE ALLOWED.

WATER & SEWER NOTES:  
DOMESTIC WATER FOR RESIDENTIAL LOTS SHALL BE PROVIDED BY PRIVATE ON SITE WELLS.  
SEWAGE DISPOSAL FOR RESIDENTIAL LOTS SHALL BE PROVIDED BY PRIVATE ON SITE SEWAGE FACILITIES.

RIGHT-OF-WAY DEDICATION NOTES:  
ALL PUBLIC RIGHTS-OF-WAY SHALL BE DEDICATED TO PARKER COUNTY TO OWN AND MAINTAIN THE ROADWAYS.

FENCE CONSTRUCTION:  
Future fence construction cannot encroach within the variable width drainage easement.

GROUNDWATER CERTIFICATION STATEMENT:  
This plat represents property which has been platted without groundwater certification as prescribed in Texas Local Government Code Section §232.0032. Buyer is advised to question seller as to the groundwater availability.

Table with 6 columns: Number, Delta, Radius, Arc Length, Chord Bearing, Chord Length. Rows C1 through C15.

Table with 6 columns: Number, Delta, Radius, Arc Length, Chord Bearing, Chord Length. Rows C16 through C29.

Table with 3 columns: Number, Bearing, Distance. Rows L1 through L10.

Table with 3 columns: Number, Bearing, Distance. Rows L11 through L19.

Table with 3 columns: Line #, Direction, Length. Rows L20 through L38.

Table with 3 columns: Line #, Direction, Length. Rows L39 through L57.

Table with 3 columns: Line #, Direction, Length. Rows L58 through L75.

DRAINAGE EASEMENT TABLE

Table with 6 columns: Number, Delta, Radius, Arc Length, Chord Bearing, Chord Length. Rows C30 through C33.

OWNER/DEVELOPER:  
WESTBROOK PROJECT MANAGEMENT, LLC  
ATTN: FRED DISNEY  
1015 CHAMPIONS DR #1400  
ALEDO, TEXAS 76008  
Phone (817) 390-0202

SURVEYOR  
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engineering and surveying

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tstock@bhinc.com • 817.596.7575 • bhinc.com  
TBPELS Firm #44, #10011300, #10011302, #10194146

FILED AND RECORDED

OFFICIAL PUBLIC RECORDS

Lila Deakle

202217949  
05/10/2022 08:50 AM  
Fee: \$4.00  
Lila Deakle, County Clerk  
Parker County, Texas  
PLAT

APPROVED BY THE CITY COUNCIL OF THE CITY OF ALEDO, TEXAS,  
on this 18<sup>th</sup> day of November, 2021

Kit Marshall  
Mayor - City of Aledo  
Christina McMiller  
City Secretary - City of Aledo

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MAY 2022

SHEET 3 OF 3

This plat filed in Cabinet F, Slide 231