



ALED O

R I V E R



# DESIGN GUIDELINES

UPDATED 5.20.2022



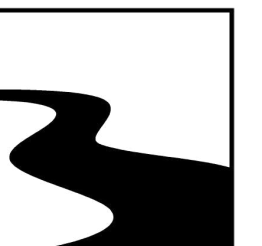
# ABOUT THE GUIDELINES

The Aledo River Design Guidelines are meant to both inspire and inform.

This document outlines the architectural and design standards of the neighborhood. Homeowners and builders are encouraged to read this document thoroughly to understand the vision and aesthetics of the community and the land.

For any questions or concerns, please email [design@aledoriver.com](mailto:design@aledoriver.com) or call 817.381-9049

*The Guidelines are offered by the Architectural Control Committee (the “ACC”) pursuant to the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION (the “Declaration”), as amended and together with any supplemental declarations, and are subject to change from time to time. Owners must submit plans pursuant to the ACC application process, and applicants should confirm with the ACC that they are working with the then-current set of Guidelines prior to submittal. Plans and variations from the Guidelines require approval of the ACC. In the event of a conflict between the Declaration and the Guidelines not resolved by the ACC, the Declaration will control.*



# THE PHILOSOPHY

## **The home is an artful expression.**

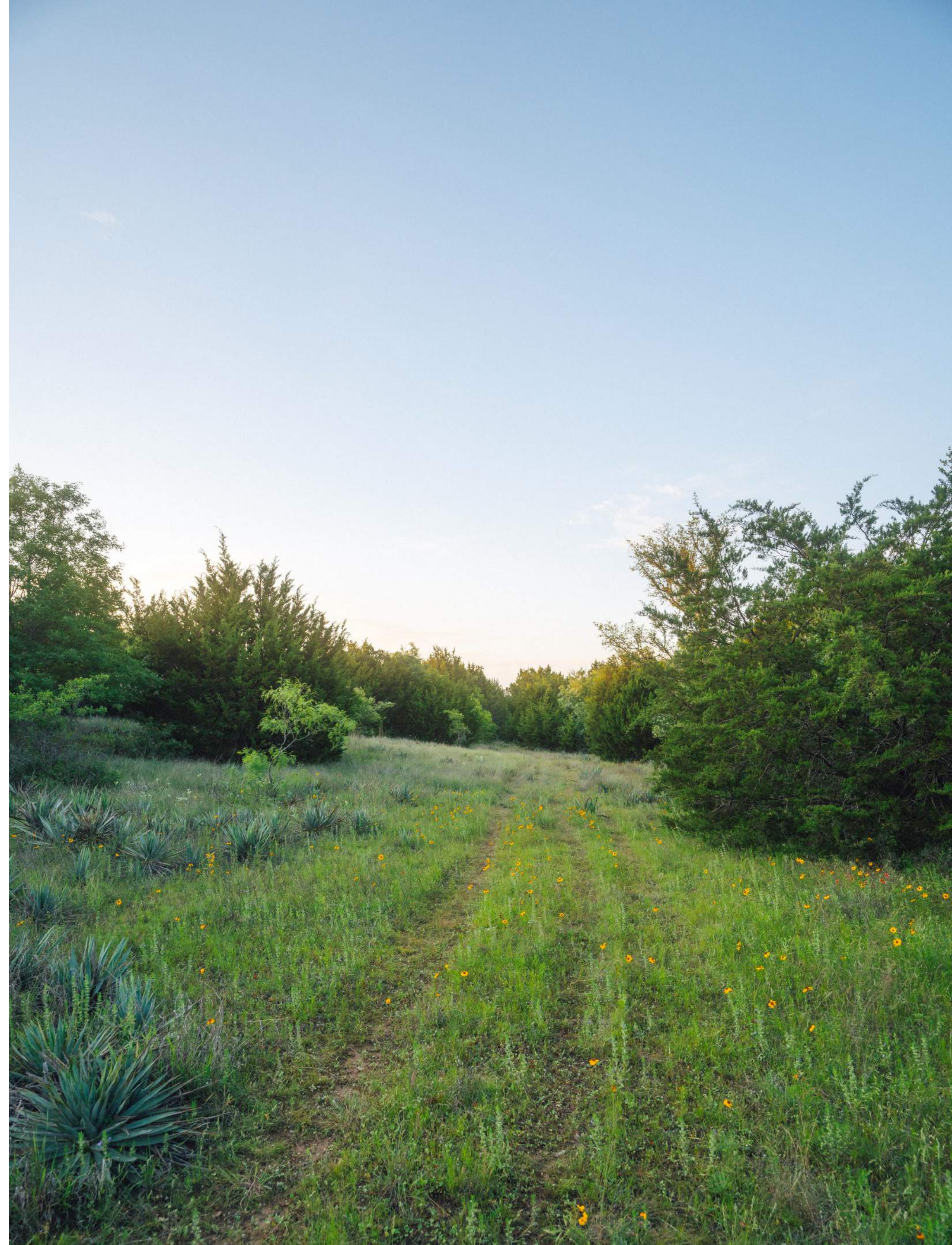
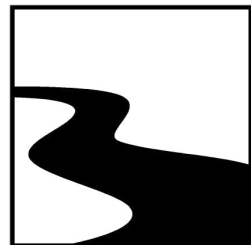
The home tells a story of who the owners are, what they value from the past, and what they hope for in the future. The homes in Aledo River should be described as classic, enduring, and artfully designed.

## **The home respects the land it is built upon.**

*Natural beauty.* Architectural and landscape designs should compliment the natural surroundings. The homes, structures, yards and fences in Aledo River should blend into the Texas landscape. Aledo River has been and will continue to be carefully designed to maintain the rural character of the land.

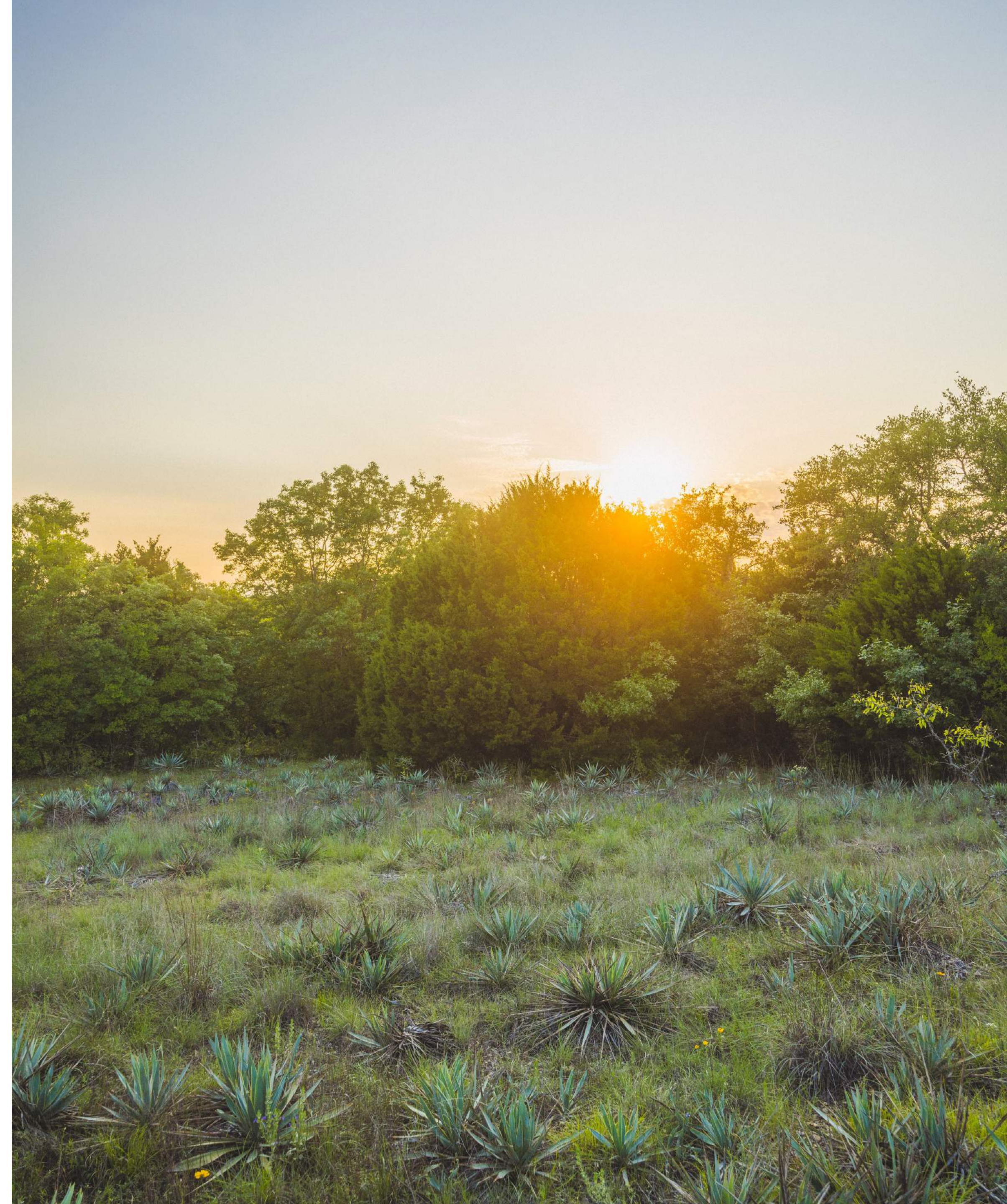
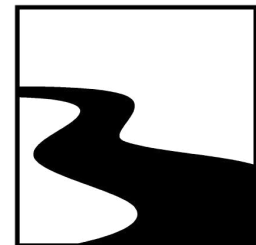
## **The home is a place of peace.**

*Preservation is a core value.* Preservation easements will maintain natural privacy walls between lots. Homes may be partially or fully hidden from view on the heavily wooded 2-acre lots of Aledo River. We desire to preserve as many mature oak trees as possible so they may be enjoyed and admired by the residents of Aledo River for many generations.



# TABLE OF CONTENTS

Architectural Styles.....	6
Site Planning.....	14
Standards, Criteria & Characteristics.....	21
Landscaping.....	32
Approved Builders/Architects.....	42
Design Review Process.....	44
Exhibits.....	50







# ARCHITECTURAL STYLES

**The home is an artful expression of the owner.**

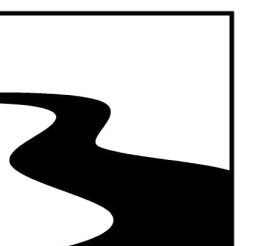
Individual expression means that architectural styles in the community will be varied. The Architectural Control Committee (ACC) warmly welcomes a healthy variety of design in Aledo River.

That being said, when considering design submittals for a home, the ACC will first evaluate with the three most essential questions.

1. *Does the architecture compliment the land and neighboring homes?*
2. *Does the architecture intimately blend into to the rural landscape of Aledo River?*
3. *Is the architecture artful and aesthetically pleasing?*

The next several pages of the Guidelines will highlight appropriate architectural styles for homes in Aledo River.

**Traditional, transitional or modern interpretations** of the appropriate styles are acceptable as long as the architecture fulfills the three essential listed questions above.

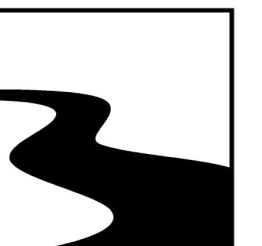




# TEXAS VERNACULAR

This style is inspired by the rural homes built on the prairies and plains of Texas during the 19th century. These homes use mixed materials that were locally sourced. Some of the key features are stone facades, wooden beams, metals roofs, and large inviting porches.

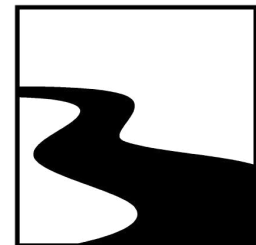
This style is perfect for Aledo River as it honors the architectural heritage of the Lone Star State.





# TEXAS HILL COUNTRY MODERN

Popularized by Lake/Flato, the award winning Texas architectural firm, this style builds upon Texas Vernacular with a modern yet straightforward approach. The architecture approaches each site uniquely as it seeks to harmonize the home with the natural landscape.



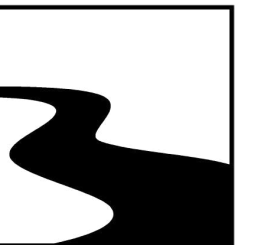


# SPANISH COLONIAL

This style, found throughout Texas, first appeared in the 1600s when Spanish settlers arrived to America and began building their homesteads.

They sought to create traditional homes of the Old World with the resources available to them in the New World.

Key features are stucco finished walls, red clay tiled roofs, and a central courtyard.



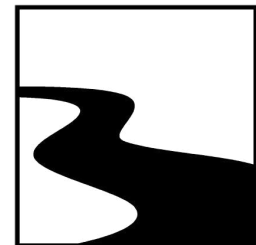
# COLONIAL REVIVAL

One of the most widespread and well-known architectural trends in American history, the Colonial style had a revival in 1876 when the United States celebrated its first centennial. The style gained momentum and from 1910 to 1930, 40% of all homes in the U.S. were built in the Colonial Revival style.

So what does Colonial Revival exactly look like? Some have side gabled roofs, some have hip roofs, some have gambrel roofs with dormers. This is because Colonial Revival is actually fusion of many different colonial styles. The most common are Georgian and Federal.

For those looking to build a traditional estate home in Aledo River, the Colonial Revival style could be a great fit.

Perhaps a Cape Cod Colonial with a Contemporary Texas Twist? The possibilities are endless.





# FRENCH COUNTRY

During World War I, American soldiers spent a great deal of time in the countryside of France. When they came home, they brought back the Provençal styles they exposed to and built their own French country inspired homes.

These are not the the palatial chateaus of French kings. These are charming, rustic farmhouses with a relaxed Old World feel.

Key features are natural stone facades, double chimneys, and soothing neutral color palettes that blend in with the surroundings.



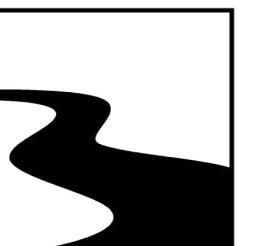


## APPROPRIATE vs INAPPROPRIATE

The goal of the development is to build a neighborhood with homes of enduring beauty and timeless, classic design.

While Aledo River is open to many architectural styles, there are some styles that are undoubtedly inappropriate for the neighborhood. One notable example of inappropriate design is the “McMansion”, a style trend that began in 1980s and continued through the 1990s and early 2000s. The term “McMansion” is generally used to denote new, or recent, multi-story houses with no clear architectural style. They are typically mass-produced and lack architectural integrity and authenticity.

The ACC is vested with full authority and discretion as to what constitutes appropriate and inappropriate architecture for Aledo River





# MASSING

## PHILOSOPHY

You are building a home on a large two acre lot. Before thinking vertically, explore how to build the estate out horizontally.

Avoid massing that is too bulky, compact, or disproportionate. Instead of creating one massive volume, consider creating many distinct volumes that connect.

As you design indoor spaces, consider outdoor spaces as well, such as courtyards, porches, and breezeways.

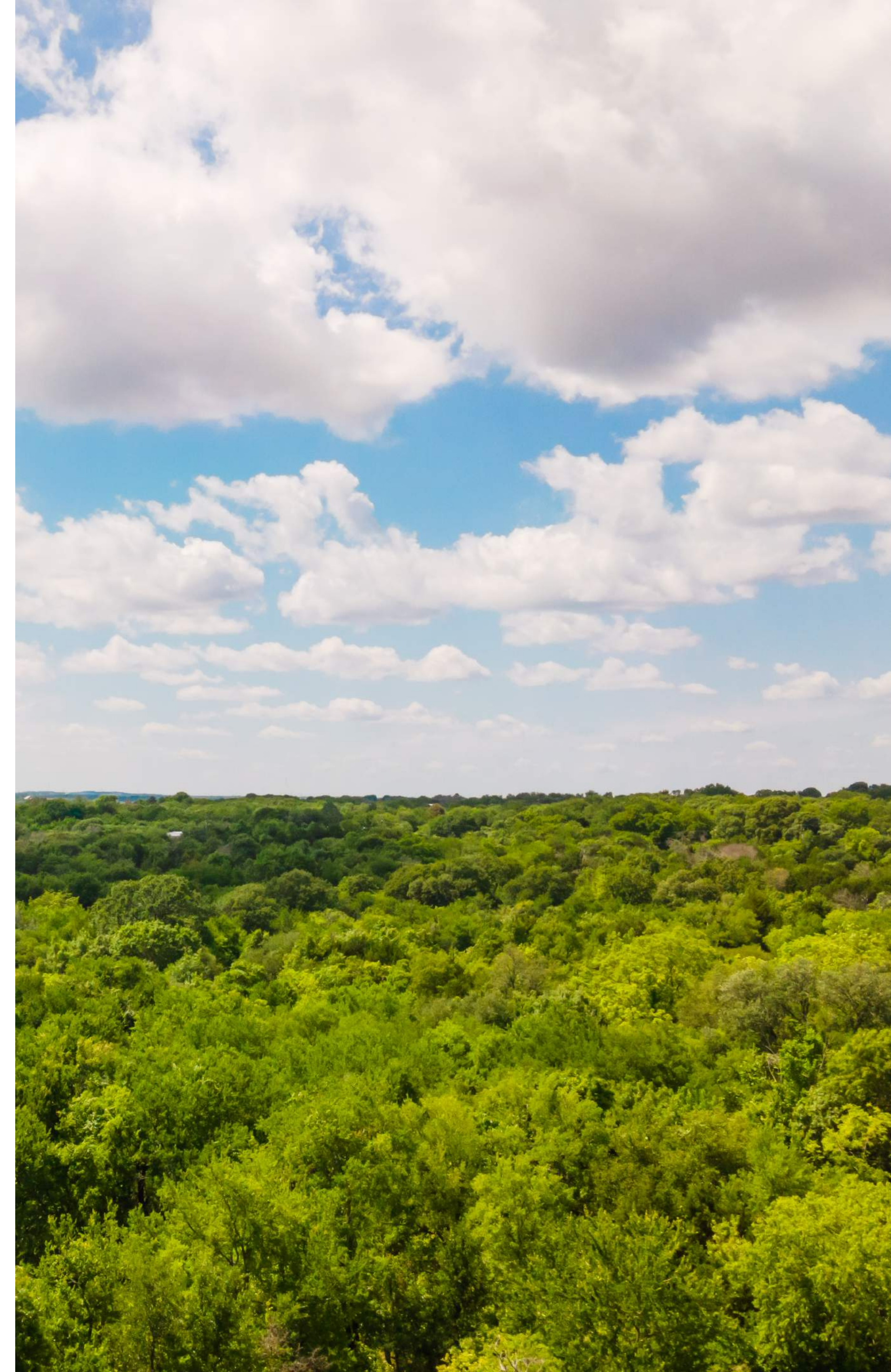
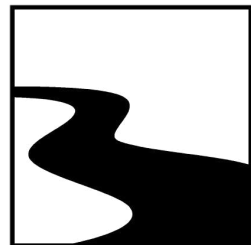
The massing should be appropriate for the architectural style of the home.

Every home should respond to the landscape and harmonize with the natural surroundings. Every lot is different in its shape and topography, therefore every estate must be custom in its approach to massing and site planning. Split level structures should be considered for lots with elevation changes, such as Lot 2.

## SIZE REQUIREMENTS

The primary single-family residence placed upon a lot or tract shall contain a minimum of 3,500 square feet of living space and a maximum of 12,500 square feet. Living space includes garages and covered porches.

No structure may exceed two and one-half (2.5) standard stories or 35 feet in height. Massing of the home shall contain a minimum of 10'-0" for the first floor and 9'-0" for any second floor.



# HOME SITE

## PLACEMENT

The Architectural Control Committee (the “ACC”) has chosen general placements for homesites on every lot (Exhibit I).

The criteria for the selections were based on topography, preservation of significant trees, and maximizing privacy between lots.

The homesite placements can be and should be customized or altered once a builder or future resident begins planning their home. Customization of homesite selection should continue to use the criteria listed above.

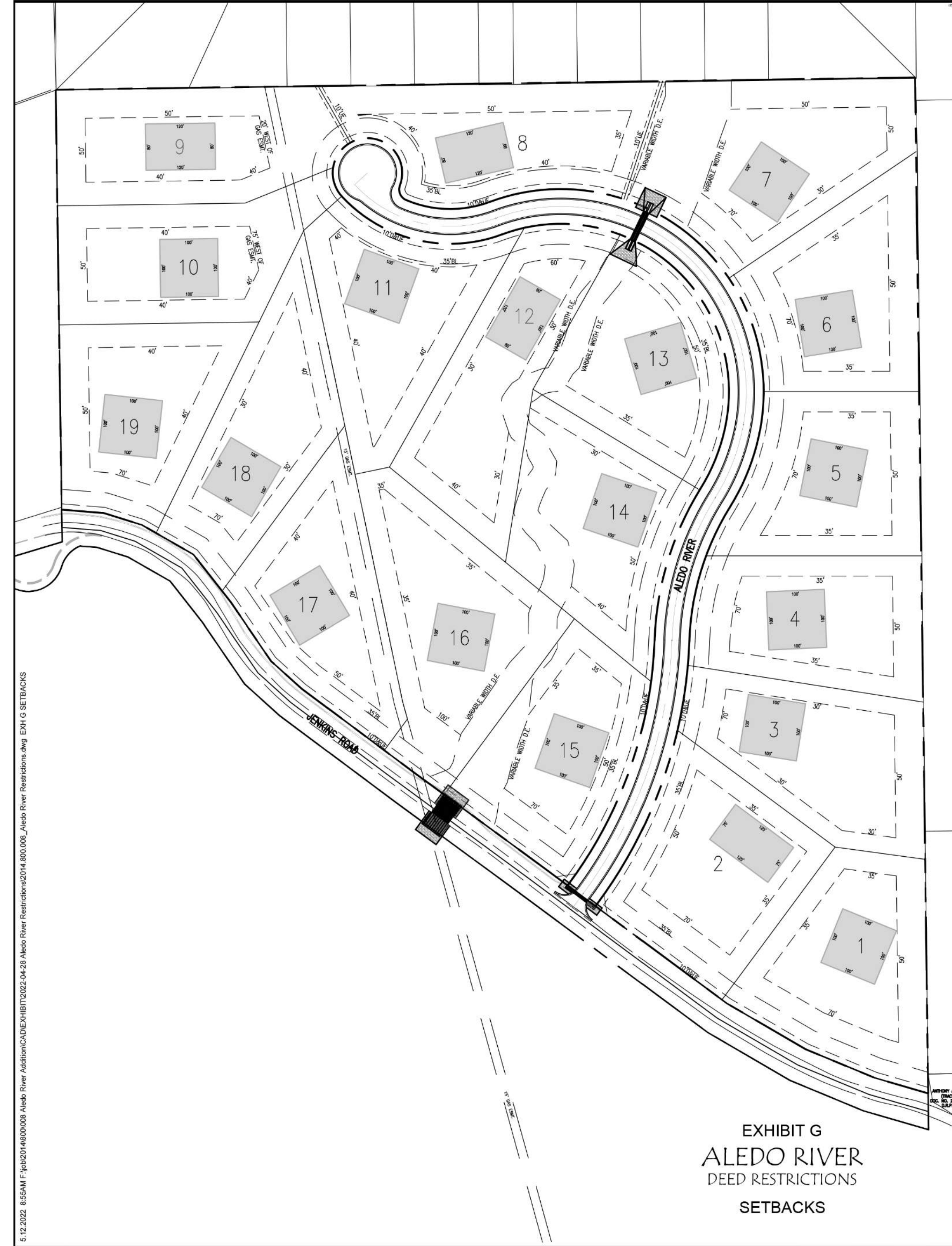
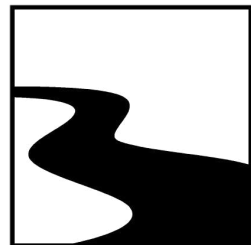
Along with the criteria listed above, homesites should compliment the natural surroundings and harmonize with the landscape of Aledo River.

Final homesite selection is subject to the approval of the ACC.

## SETBACKS

All Structures must be constructed, placed, and maintained in conformity with the Aledo River, Phase One, Variable Setback Map as show in Exhibit G.

Additionally, all Structures must be constructed, placed, and maintained in conformity with platted setback lines shown on the Plat and all Governmental Requirements. The location of all Structures must be approved by the Architectural Control Committee





# GRADING DRAINAGE

Slopes shall not exceed 4:1 unless it can be determined that a steeper slope will not erode. All slopes are to be re-vegetated as soon as possible with planting appropriate to the site.

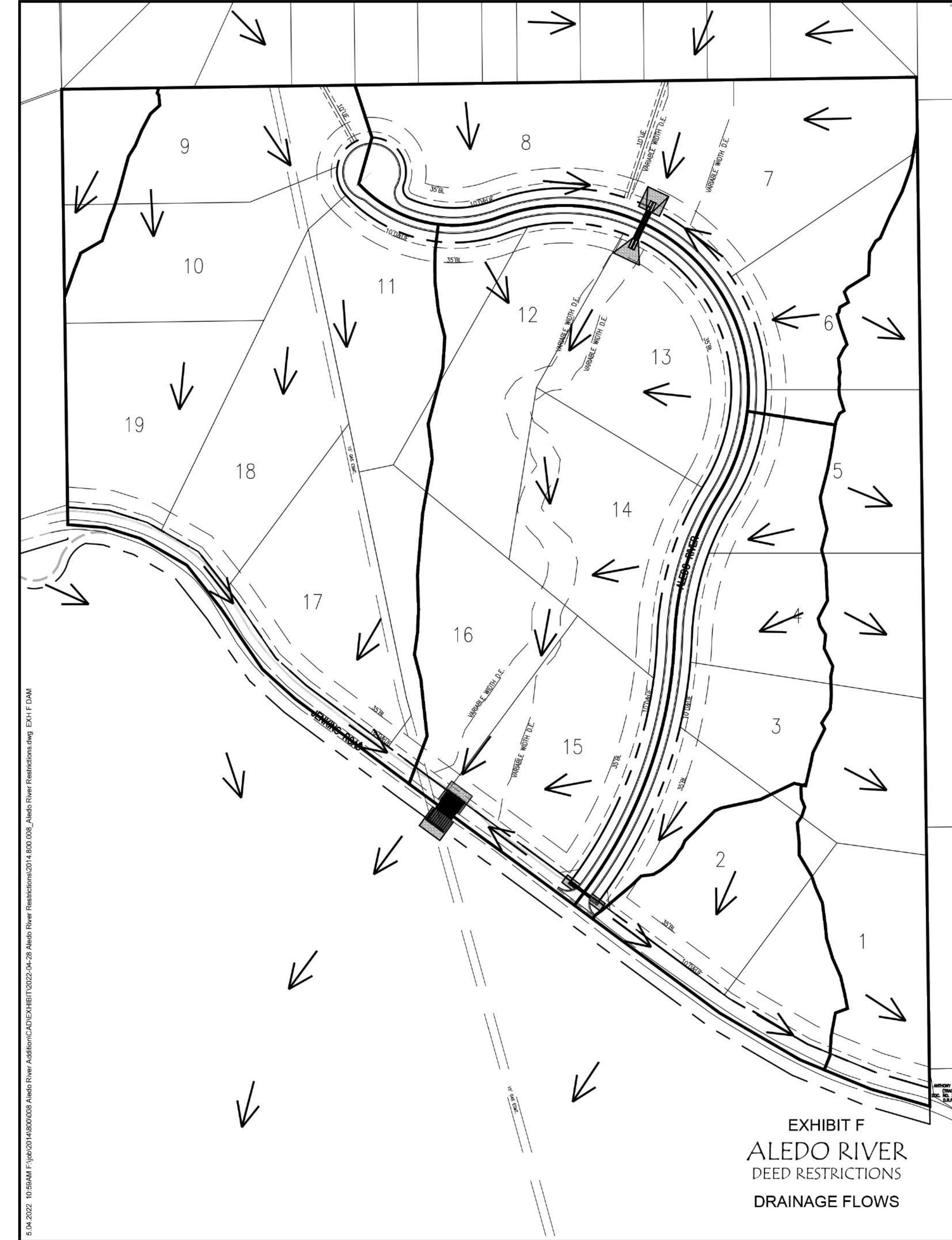
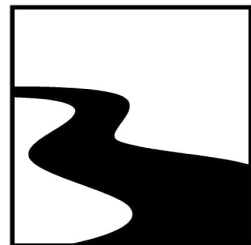
A drainage plan for the entire Lot upon which the residence is constructed shall be prepared by a professional engineer or licensed landscape architect and submitted to the ACC before implementation of the plan.

Homeowners, builders, engineers and/or architects should refer to 10.6 Erosion Control; Drainage DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION.

All grading and construction of any kind, including but not limited to buildings, fences, and plants shall ensure that all drainage coming on to and off of the Lot should maintain the pattern and direction of drainage flow as shown in Exhibit F, *Aledo River, Phase 1, Drainage Pattern Plan*

Drainage design is the responsibility of the Owner and is required to reduce erosion and water run-off to adjacent property.

\* NO grading of any kind is to be started until all plans for the lot including plans for drainage have been approved by the ACC.



# DRIVEWAYS & ENTRANCES

## DESIGN

- Driveway and entrance design and plans must be approved by the ACC.
- Driveways should accommodate existing significant trees (defined as trees with a 12-inch diameter at breast height) and may likely therefore take a curvilinear shape, depending on the unique conditions of the lot.
- Driveways shall be a minimum of twelve feet (12') wide and a maximum of sixteen feet (16') wide, except at the driveway apron to garage entrances or to provide for a turnaround or governor drive.
- Driveways shall be of concrete, stone, brick, decomposed granite/ asphalt, road base granite, or any other dust free material that is approved by the Architectural Control Committee.

## ENTRANCE

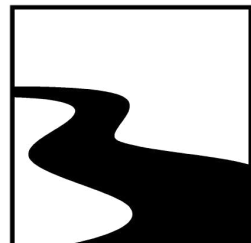
Two symmetrical masonry columns on either side of the entrance of the driveway are allowed.

- If you choose to fence the front street facing boundary of your property, entrance masonry columns are mandatory.
- Masonry columns must be made of stone, brick or stucco, and compatible with the overall design and aesthetics of the primary residence.

- No taller than 6 feet, no shorter than 4 feet.
- Masonry columns may incorporate an entry gate as long as they are compatible with the overall design, aesthetics and materiality of the primary residence.
- Lots 2 and 15 are prohibited from having a driveway entry on Jenkins Road.
- One driveway entrance per lot is allowed. Additional entrance or exits are subject to the approval of the ACC.

## CULVERTS

- Culverts are required for all driveway entrances and walkways that cross over a borrow ditch.
- Culverts must be properly permitted by Parker County.
- Culvert pipes must be covered and landscaped with masonry such as stone or brick.
- Culverts design must be compatible with the overall aesthetics and materiality of the entrance and the primary residence.



# WATER WELLS & SEPTIC SYSTEMS

## WATER WELLS

Location of the water well is subject to the approval of the ACC.

All water well drilling and pump installation in the Subdivision shall be performed by individuals licensed with the Texas Department of Licensing and Regulation (“**TDLR**”), and all drilling, boring, coring, or constructing of a water well and/or installing or repairing of well pumps and equipment in the Subdivision, shall comply with all Governmental Requirements, including any necessary permitting from the Upper Trinity Groundwater Conservation District.

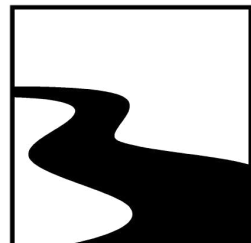
No lot may have more than one water well.

## SEPTIC SYSTEMS

Residents in Aledo River will need to install a septic system for their home. All on-site sewage facilities (“**OSSF**”) and all work related thereto in the Subdivision shall be performed by individuals with the necessary licenses required by the Texas Commission on Environmental Quality, including but not limited to Texas Administrative Code Title 30, Part 1, Chapter 30 Subsection G and Chapter 285, and shall comply with all Governmental Requirements (the “**Septic Plan**”).

The Septic Plan, including the location of all of the OSSF facilities, shall be submitted to the Architectural Control Committee before any onsite preparation, excavation, or installation begins. The location of related septic facilities is subject to the approval of the ACC.

No septic system shall be designed to be sprayed directly onto adjoining lots, roadways, paved surfaces, Aledo River mailboxes or entrance monuments.



# RAINWATER COLLECTION DEVICES

## **RAINWATER COLLECTION DEVICES**

Groundwater is not the only source of water in Aledo River.

There is also rainwater.

On average, Aledo sees 36.5 inches of rain per year.

With that amount of rainwater, every square foot of your roof has the potential to collect 22.74 gallons of water per year.

If your estate had a total roof area of 4,500 square feet, you could collect over 100,000 gallons of water a year.

With that in mind, rainwater collection devices and harvesting systems are an option for residents of Aledo River.

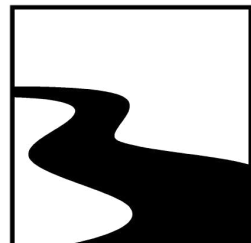
## **REQUIREMENTS**

An Owner must obtain written approval from the Architectural Control Committee prior to the installation of a rain barrel or a rainwater harvesting system. An Owner may place a rain barrel or a rainwater harvesting system on the Owner's Lot, provided that the barrels or system are:

- (a) of a color that is consistent with the color scheme of the Owner's Residence;
- (b) do not display any language or other content that is not typically displayed by such a barrel or system as it is manufactured;
- (c) are not located between the front of an Owner's Residence and an adjoining or adjacent street; and
- (d) do not exceed five thousand (5000) gallons in size.

Other than gutters and downspouts conventionally attached to a Residence or appurtenant Structure, all components of a rain barrel or rainwater harvesting system, such as tanks, barrels, filters, pumps, motors, pressure tanks, pipes and hoses, must be substantially screened from public view from any street, adjoining Lots, or the Common Property. Screening may be accomplished by placement behind a solid fence, structure, or vegetation, burying the tanks or barrels, or placing the equipment in an outbuilding otherwise approved by the Architectural Control Committee.

The Architectural Control Committee has the right to regulate the size, type, shielding of, and the materials used in the construction of any rain barrel, rainwater harvesting system, or other appurtenance that is located on an Owner's Lot and visible from public view or any adjoining Lots.



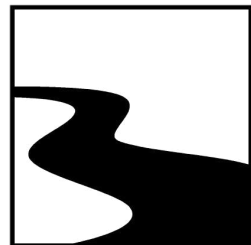
STANDARDS,  
CRITERIA &  
CHARACTERISTICS



# MASONRY

Homes should have predominately masonry exteriors of stone, brick and/or stucco. The amount of masonry depends on the architectural style of the home. Any builder or owner who wishes to have less than 75% of masonry on the exterior of the home must have written approval from the ACC. The ACC will make a decision after considering the following questions -

- 1) How visible is the home from the street and adjoining lots?
- 2) Does the variance on masonry requirements fit the architectural style of the home?
- 3) Will the variance on masonry requirements aesthetically detract from the development?



# MASONRY - STONE

Aledo River will feature a heavy use of stone for its entrance monuments. Builders are encouraged to utilize stone within their designs as much as possible.

Builders may use stone on any element of the home. Stone can be used on gables, columns, patios, wainscotting or watertable, etc. Cast stone may be used as an accent or topping material.

## PATTERNS

The stone may be laid in one of the listed patterns, depending on the Architectural style of the home:

- Ashlar
- Biltmore
- Cobblestone
- Fieldstone
- Ledge
- Stack

Other patterns not listed may be used with the consent of the ACC.

## GROUT

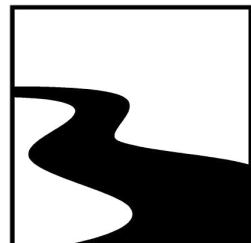
Grout patterns should compliment the profile of the stone. Recessed or concave grout detailing is preferred. Flush grout detailing is only permitted on cut stone assembly.

## STONE SELECTIONS

- Black & Tan
- Blanco Blend
- Cave Rock Blend
- Country French Blend
- Desert Brown Blend
- Grandbury Stone
- Limestone
- Lueders
- Millcreek Blend
- Milsap Stone
- Moss Builders Old Hickory
- Oklahoma Builders
- Oklahoma Fieldstone
- Rattlesnake Stone
- Red River Blend
- Rhinestone Chopped
- Savannah Stone
- Tumbleweed Stone
- Vaquero Blend

Stone Selections not listed above may be permitted subject to ACC approval.

\*River rock and Bedrock may not be used.



# MASONRY - BRICK

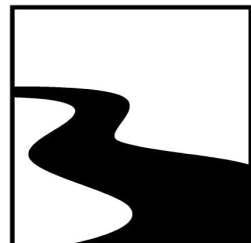
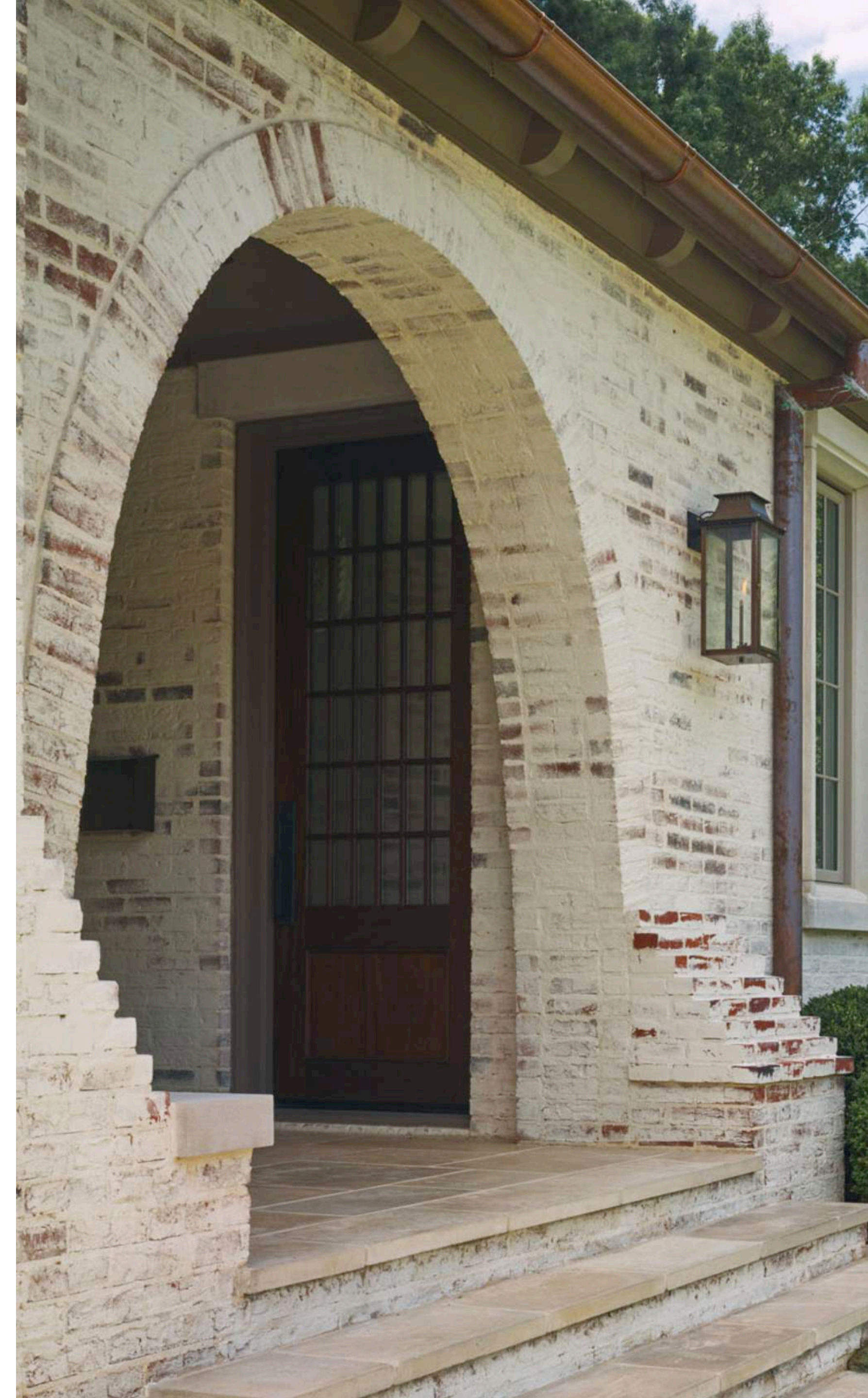
## PATTERNS

Brick may be placed in one of the listed patterns:

- Basketweave
- English Bond
- Flemish Bond
- Header Bond
- Herringbone
- Running Bond

## RULES

- Brick size, selection, and pattern placement must match the architectural style of the home and be approved by the ACC.
- Brick may be painted only if it compliments the architectural style of the home.
- Reclaimed bricks are permitted with the ACC's prior approval.
- Glazed bricks may be permitted with the ACC's prior approval
- Stack bond patterns are not allowed
- No cement bricks are allowed. All bricks must be a clay fired brick.





# MASONRY - STUCCO

## APPLICATION

*When applied over a wood or metal stud frame.*

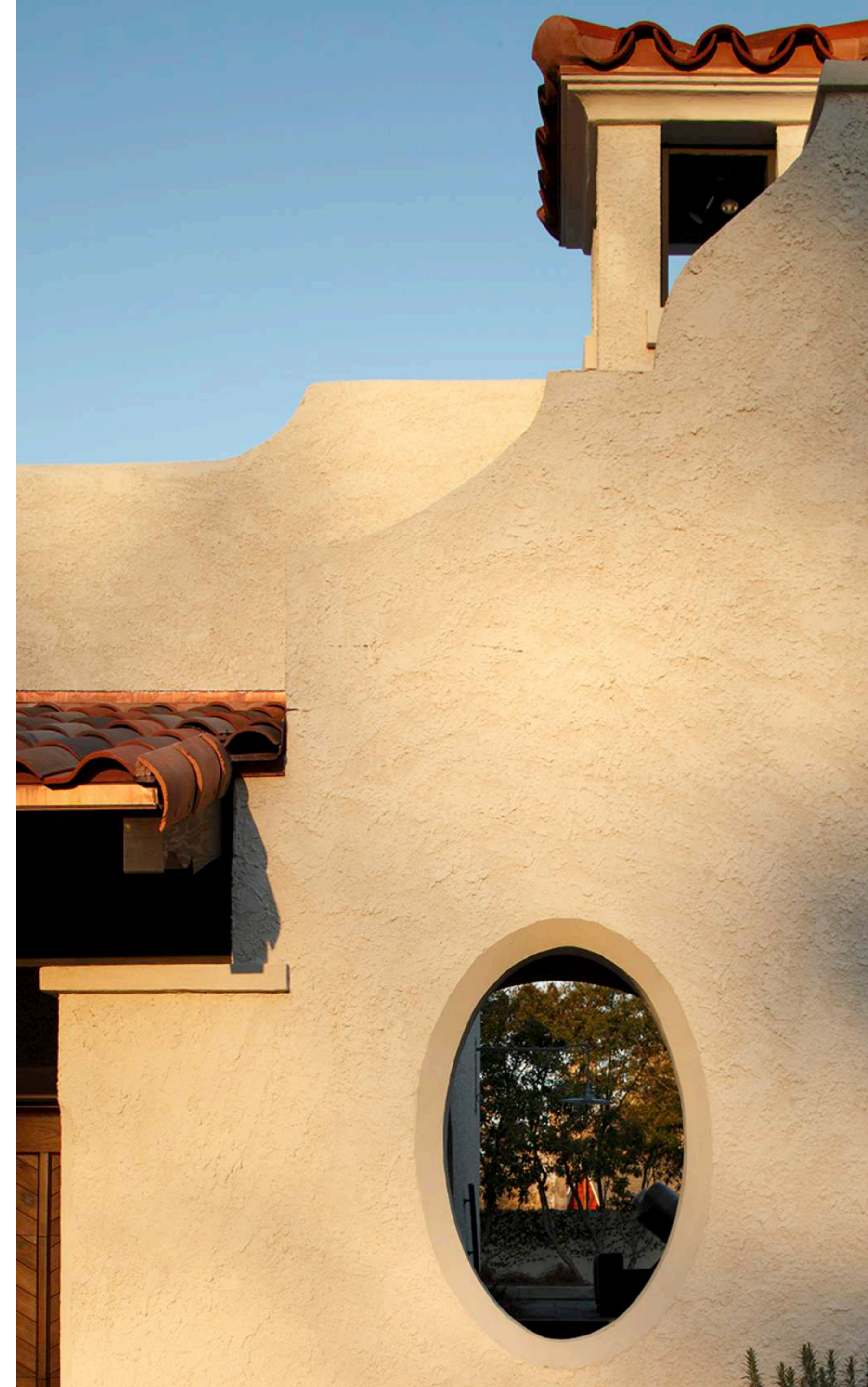
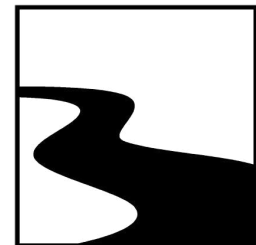
- Must be applied in the standard 3-coat process; scratch coat, brown coat and finish coat. Stucco must be applied over a metal lath adhered to the exterior wall membrane.

*When applied over concrete or masonry wall with joints struck flush.*

- Stucco is applied in 2 coats over a masonry or concrete surface.

## FINISHES

- The finish coat may have a float, stippled, smooth or pebbled texture.
- The finish may be natural or integrally colored through the use of pigment, colored sand or stone chips.
- Formwork should be detailed out of 100% masonry.
- Alternative materials for formwork are subject to the approval of the ACC.
- The exterior use of Styrofoam is prohibited.



# COLORS

## PHILOSOPHY

Color selections should harmonize with the landscape. Homeowners and builders are encouraged to choose the natural colors found in the native setting of Aledo River.

All color selections are subject to the approval of the ACC.

*Below is an example of a natural, elegant color palette from Benjamin Moore.*



Cloud White  
OC-130



Old Prairie  
OC-42



Gray Owl  
OC-52



Nimbus Gray  
2131-50



Texas Sage  
1503



Home Sweet Home  
1088



Clay  
1034



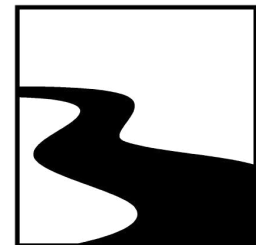
Rolling Hills  
1497



Deep Taupe  
2111-10



Dark Olive  
2140-30



# ROOFS

## MATERIALS

Roofs must be constructed of slate, concrete, clay tile, tile or standing-seam metal.

Shingle roofs are not allowed unless approved by the ACC.

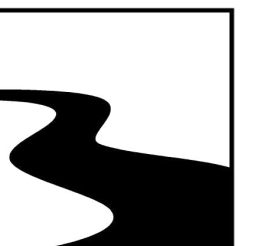
If shingles or any materials not listed are desired, the ACC may grant a variance after considering the following questions -

- 1) How visible is the roof from the street and adjoining lots?
- 2) Does the variance fit the architectural style of the home?
- 3) Are the materials high/premium grade?
- 4) Will the variance aesthetically detract from the development?

## ROOF NOTES

- Roof products are to have a minimum 30-year lifetime per the manufacturer.
- Roof pitch should match the architectural style of the home. Homes are preferred to have one roof pitch throughout. Two slopes or more may be permitted on a case- by-case basis subject to ACC approval.
- Roof volumes should match the architectural style of the home. Roof volumes should be contained by combining simple forms as opposed to a single, giant form.

- Gable, dormer, and hip roofs are permitted. Other roof types such as gambrel, mansard, etc., must have approval from the ACC.
- Only one nested gable is allowed on the home, on the front elevation only.
- All roofs should have a consistent color throughout.
- All roof vents must be painted to match roof color.
- All exposed flashing shall be painted the same color as the roof or adjacent material to best conceal the flashing.
- The colors of the gutters and downspouts must blend with the fascia and soffit. If copper gutters and downspouts are specified, prior written approval is required.
- Roof vents and hardware should be located away from public view.
- Ridge vents are encouraged.
- Gutters and downspouts must extend away from the foundation a minimum of 1'.
- Discharge must be compatible with the Drainage Guidelines.
- All gutters are to be decorative and shown on the plans and specifications.
- Standard rolled and crimped gutter systems are prohibited.



# ACCESSORY ELEMENTS

## **TOWERS**

Tower elements may be conditioned spaces or open. Roofs on a tower may be hipped or gabled, with slopes ranging between 3:12 and 6:12. Eaves must match the main body of the house. Towers made be comprised of a different material than the house as long as it blends in and is architecturally appropriate.

## **VERTICAL ENTRANCES**

Vertical double height entrances with a ratio greater than 1:1.5 are prohibited.

Entrances through tower elements may be permitted subject to ACC's approval.

## **DORMERS**

Shed, hip, and gable dormers are permitted.

The slope of the roof on the dormer must be equal to the slope of the roof on the home, but not less than 6:12 unless architecturally appropriate for the style.

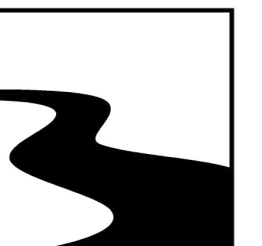
- Eaves of the dormers should match the eaves of the home.
- Roof material of the dormer should match the roof material on which it is located.
- Dormers with single windows may not have cheek walls wider than 5 inches.
- Dormers should be no wider than the window or windows plus required corner casing.
- Dormers should not be over 25 % of the roof area, when viewed in elevation.

## **CHIMNEYS**

Chimneys shall be constructed of brick, stucco or stone and be compatible with the architectural style of the home.

All prefabricated fireplaces will have an architecturally compatible terminus cap approved by the ACC.

Broad massive chimneys are encouraged.



# HOME ELEMENTS

## PORCHES

- Porches may be single or two story.
- Front porches shall be a minimum of 10' in depth.
- The roof slope of the porch is to be between 3:12 and 6:12, unless it is a direct extension of the roof of the home
- Porches may have a shed roof or a hip roof with gable inset over the door.
- Porch flooring material should be enhanced and compliment the style of the home.
- Balconies must project a minimum of 4' from the face of the home.
- Exposed second floor decks may be approved on a case-by-case basis subject to ACC approval.

## SHUTTERS

- Shutters must be sized to fully enclose the windows even if the shutters are ornamental.
- Shutters must have operable hardware even if the shutters are ornamental.

## OPENINGS

- Openings are required on all sides of the home.
- Picture windows and windows without mullions on street facing elevation are discouraged, but may be approved on a case-by-case basis subject to ACC approval.

- All windows and doors must be vertically proportioned. Awning or Transom windows are the exception.
- Wood, wood clad, and metal windows will be permitted.
- Vinyl and aluminum windows are prohibited.
- Reflective glass or tinting is prohibited.
- Windows shall be energy efficient and will follow applicable energy code, if any.
- When visible from any street or open space, storm shutters or storm windows may be installed, but only with ACC written approval.
- Sliding glass doors are prohibited on any elevation visible from a street without ACC written approval.
- Skylights will be subject to ACC design review and approval.

## SECONDARY STRUCTURES

- Secondary structures (such as outbuildings, play structures, detached garages, shade structures, pools, cabanas, guest quarters) shall be compatible with the overall design, aesthetics and materiality of the primary residence.
- No secondary structure shall exceed the residence in height, unless there is written approval.
- Any Secondary Structure to be used as a temporary residence/pool cabana or guest quarters shall not be larger than 800 square feet.
- Placement of secondary structures will be subject to approval by the ACC, unless the placement is within the approved homesite location.



# HOME ELEMENTS - continued

## GARAGES

- Side or rear entry garages are strongly encouraged.
- If a front facing garage is desired, ACC approval is required and will be granted on a case-by-case basis. Front facing garages shall have a minimum setback of 20' from front elevation of house and should incorporate a porte cochère in the design.
- All internal garage depths will be a minimum of 25 feet.
- All homes are required to have a garage large enough to accommodate at a minimum two (2) full size automobiles.
- All garages should have a minimum of two (2) eight foot (8') tall doors, unless granted written approval by the ACC.
- All garage doors visible from the street shall be natural wood, wood clad or glass material. Any synthetic material utilized is subject to the approval of the ACC.
- All garages shall be sheet rocked and painted.

## FRONT DOORS

- Front doors must be made of long lasting and high quality materials that complement the architectural style of home.
- Front doors must be made of either wood or metal.
- All homes shall have a minimum 8' tall front door.

## TRASH RECEPTACLES

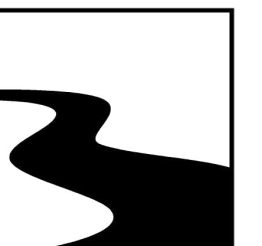
- Trash receptacles may not be visible from the street, except after 5:00 p.m. on the day prior to and on the day designated for removal of garbage, rubbish and recycling.
- A concrete pad may be provided for two (2) trash receptacles located adjacent to the garage doors, behind a fence or screened with landscaping, and must not be visible from street.

## SPORTS OR TENNIS COURT

- Sports or tennis courts will only be allowed on certain lots. The determination will be based on factors such as size and the placement will be determined by the placement and visibility of the sports court from adjoining lots.
- Any Home Owner desiring to construct sports court must submit plans and specifications in writing to the ACC for approval.
- Basketball goals, backboards and nets that are visible from the street will only be permitted if they are of high quality and permanent in nature and if the placement has been approved by the ACC.
- No sports court should be directly visible from any street or common property.

## PLAY EQUIPMENT

- Playground or recreational equipment must be placed or installed in the rear of the lot, unless it is screened from view from the street and all adjoining lots.



# MISCELLANEOUS

## **CHICKENS**

- Up to 8 chickens per lot are allowed. Hens only. No roosters.
- For detailed information refer to the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION.

## **GAS APPLIANCES**

- Each Lot must have a minimum four (4) gas appliances; provided, however, gas appliances used as supplemental or standby heat sources shall not qualify.

## **COMPOSTING**

- Refer to the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION.

## **SATELLITE DISH / ANTENAS**

- Refer to the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION.

## **SOLAR DEVICES**

- Refer to the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION.

## **DISPLAY OF RELIGIOUS ITEMS**

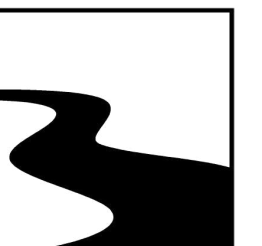
- Refer to the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION.

## **SIGNS**

- Sales and construction signs, including material boards, will be permitted only at the initial period of construction. All builders signs/ material boards will be submitted to the ACC for approval.
- Builder signs to be professionally done and not to exceed 16sf in size.
- “For Sale” signs by the home owner are not to exceed 9 sf in size.
- For detailed information refer to the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION.

## **FLAG DISPLAY**

- Refer to the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION.









# LANDSCAPING

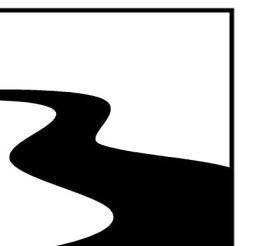
## PHILOSOPHY

*The home respects the land it is built upon.*

Homeowners and builders are encouraged to harmoniously integrate their homes with the natural surroundings and preserve as much of the native landscape as possible.

Landscapes must be designed to blend into the natural surroundings. Therefore homeowners and builders should take a layered approach in which manicured landscapes occur adjacent to the house and softly fade into the untouched perimeters.

Homeowners and builders are strongly encouraged to preserve significant trees aka any tree with a diameter of 12 inches or more above breast height.



# PRESERVATION EASEMENTS

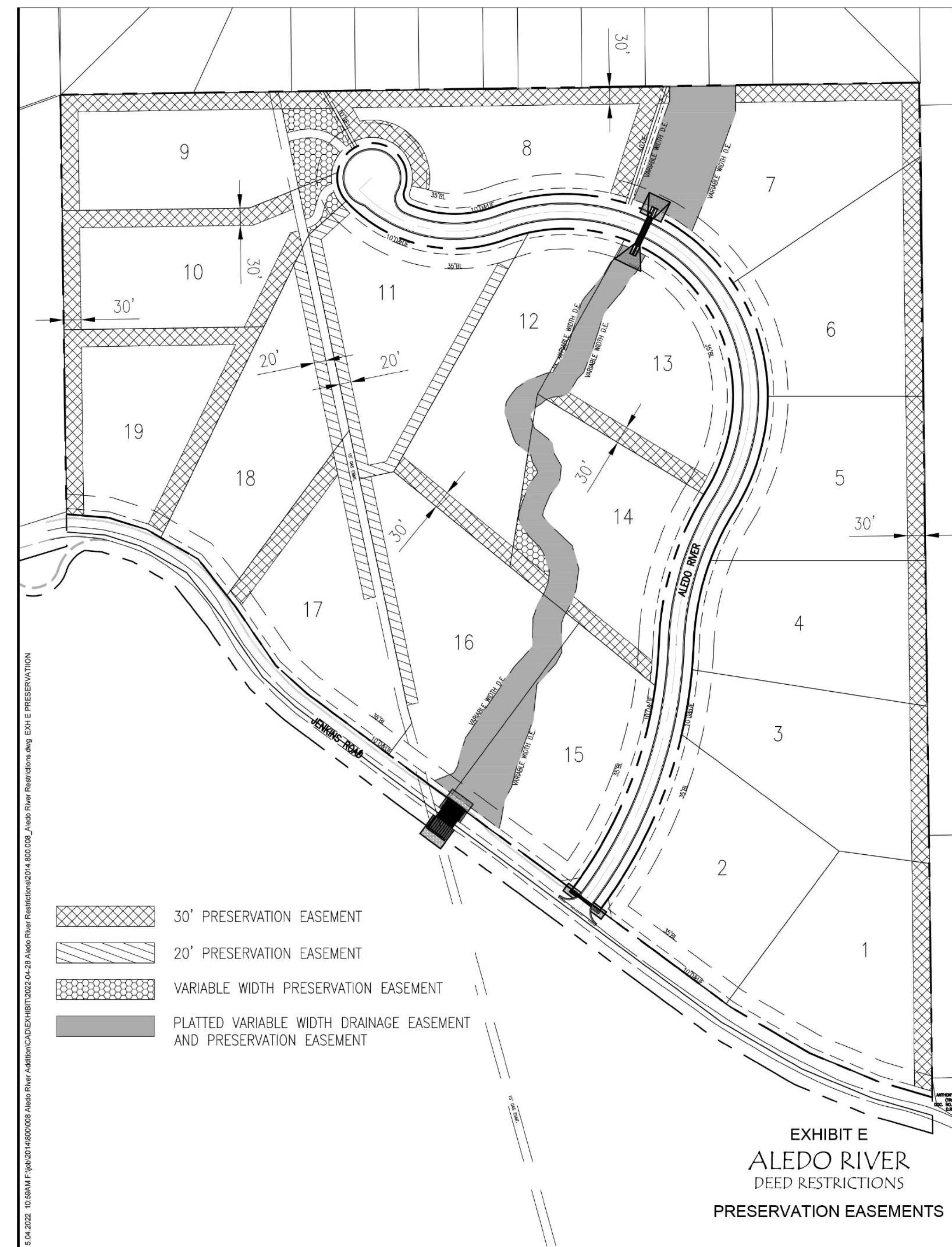
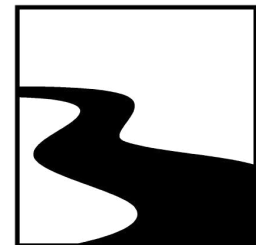
## ***Preservation is a core value.***

Preservation easements will maintain natural privacy walls between heavily wooded lots. We desire to preserve as many mature oak trees as possible so they may be enjoyed and admired by the residents of Aledo River for many generations. Aledo River endeavors to respect and preserve the rural Texas character of the land.

## ***Preservation easements must remain native.***

In order to maintain as much natural screening as possible, there shall be no clearing of living trees, branches, shrubs, bushes, underbrush, natural growth, etc, within the Preservation Easement on each Lot (Exhibit E), and no Owner shall be permitted to trim, prune, or remove any hedge, tree, or any other planting in said Preservation Easement without the prior express written consent of the Architectural Control Committee.

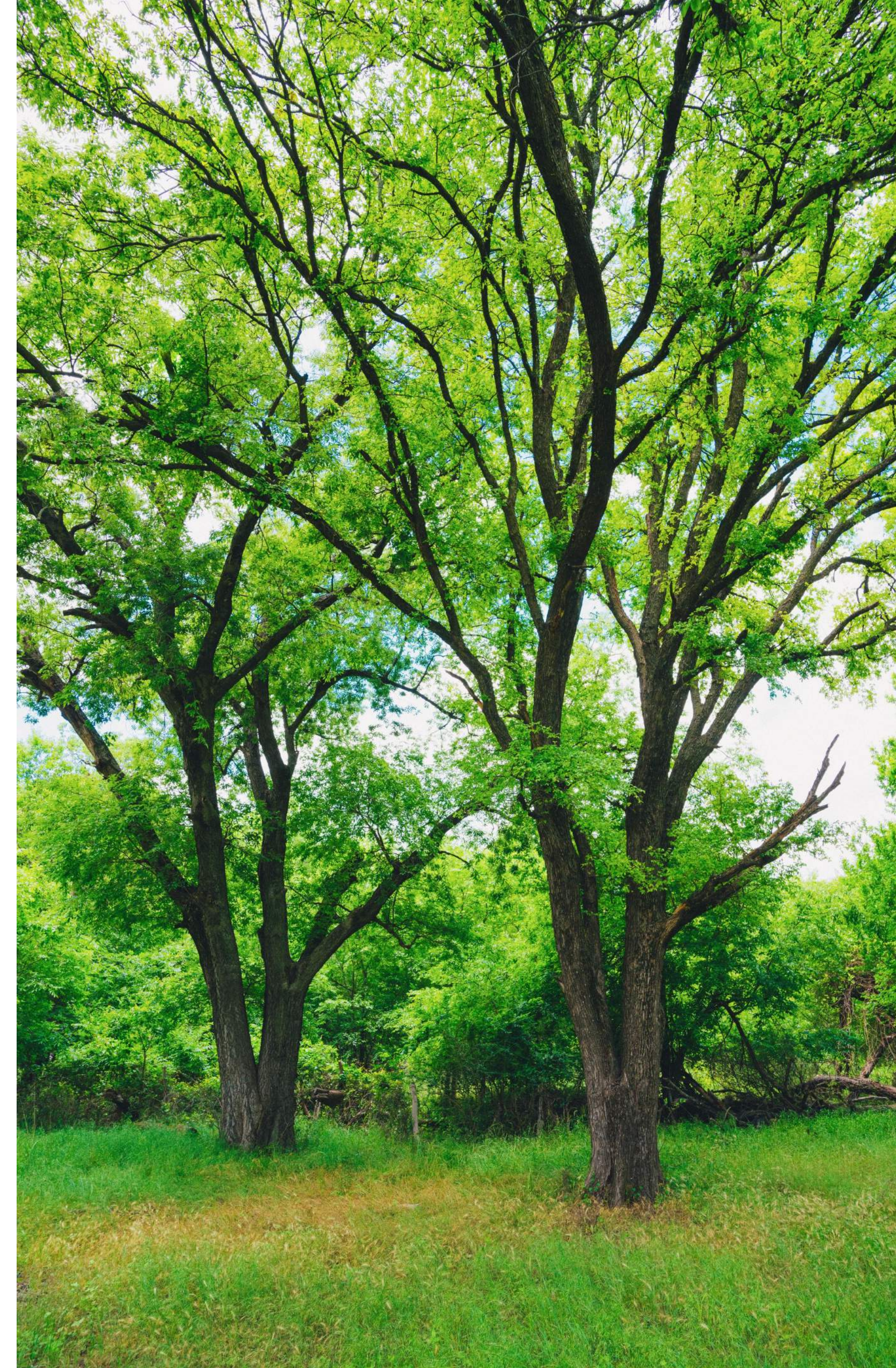
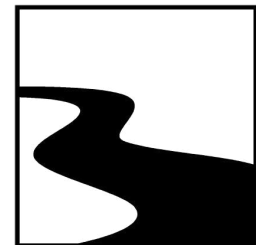
**Any violation will be strictly enforced as defined by 10.8 Natural Screening of the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION. All homeowners, builders, architects and engineers are strongly encouraged to read 10.8 Natural Screening from the deed restrictions of Aledo River.**



# LANDSCAPING GUIDELINES

## **GUIDELINES**

- DESIGN APPROACH “A” - Keep the landscapes adjacent to boundaries as native as possible. In this approach, thick vegetation and trees will act as natural privacy walls. Manicure only the landscapes adjacent to the home.
- DESIGN APPROACH “B” - Clear out underbrush, thorny plants, and insignificant trees (defined as trees with less than a 12-inch diameter at breast height). \* Manicure the landscape adjacent to the home and softly fade into lightly cleared native landscapes that illuminate significant, mature trees. *\*Except however, any vegetation within Preservation Easements may not be trimmed, pruned, cleared, or disturbed whatsoever without written approval from the ACC. Any violation will be strictly enforced as defined by 10.8 Natural Screening of the DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR THE ALEDO RIVER PHASE I SUBDIVISION.*
- Both design approaches are appropriate in Aledo River.
- Homeowners must keep street-facing fences, walls, and masonry columns clear of overgrowth.
- Homeowners with street-facing fences or walls must keep the area adjacent to the street neat, well maintained, and reasonably free of weeds.
- All adjacent street rights-of-ways and drainage/utility easements must be kept neat, well maintained, and reasonably free of weeds.
- Any improved turfs, yards or lawns must be kept neat, well maintained, and reasonably free of weeds.
- Any landscape that was graded or disturbed during construction, including street right-of-ways and drainage/utility easements adjacent to the Owner’s lot, must be re-vegetated as soon as possible with planting appropriate to the site.
- Landscaping at entrances must be kept neat, well maintained, and reasonably free of weeds.



# PLANT MATERIALS LIST

The palette of plant materials should consist primarily of native plants that reflect rich character of Texas. Along with their appropriate and attractive aesthetic character, native and adapted species require less irrigation. Following is a partial list of plant materials that are permitted in Aledo River

## SHADE TREES - LARGE

Bur Oak  
Live Oak  
Pecan  
Texas Red Oak  
Shumard Oak  
Cedar Elm  
October Glory  
Chinkapin Oak  
Durand Oak  
Autumn Blaze  
American Elm  
Black Hickory

## ORNAMENTAL TREES

Woollybucket Bumelia  
Texas Redbud  
Mexican Redbud  
Downy Hawthorn  
Green Hawthorn  
Possumhaw Holly  
Crape Myrtle  
Mexican Plum  
Eve's Necklace

Mexican Buckeye  
Rusty Blackhaw Virburnum  
Roughleaf Dogwood

## SHRUBS

American Beautyberry  
Yellow Bells / Esperanza  
Hardy Hibiscus  
Red Yucca  
Plumbago  
Spanish dagger  
Upright Rosemary  
Little John' Bottlebrush  
Flowering Quince  
Texas Sage  
Anthony Waterer Spirea  
Leatherleaf mahonia  
Yaupon  
Crimson Pigmy Barberry  
Dwarf Pomegranate  
Dwarf Pittosporum  
Bicolor or Butterfly Iris  
Pittosporum

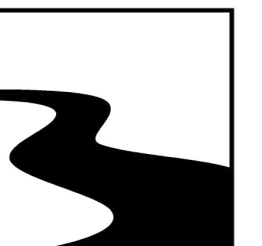
## GROUNDCOVERS

Elliott's bluestem  
Silver beargrass  
Splitbeard bluestem  
Broom sedge  
Sideoats grama  
Cherokee sedge  
Partridge pea  
Northern sea oats  
Drummond's rain lily  
Golden tickseed  
Clasping-lead coneflower  
Slender spikerush  
Flatstem spikerush  
Canada wild rye  
Virginia wild rye  
Leavenworth's Eryngo  
Flowering spurge  
Snowy prairie gentian  
Maximillian sunflower  
Globeberry  
Standing cypress  
Horsemint  
Muhly

Scratchgrass  
Drawf muhly  
Deergrass  
Switchgrass  
Virginia creeper  
Passionflower  
Drummond's phlox  
Black eyed Susan  
Violet ruellia  
Scarlet Sage  
Swordleaf blue-eyed grass  
Indiangrass  
Big cordgrass  
Prairie corders  
Dropseed  
Sacaton grass  
Eastern gamagrass  
Prairie verbena  
Common blue violet  
Mustang grape

## PERENNIALS

Blackfoot Daisy  
Bulbine  
Butterfly Weed Coneflower  
Copper Canyon Daisy Coral  
Berry  
Coreopsis  
Cuphea  
Flame acanthus  
Gaura  
Lantana  
Mexican heather Shrimp plant  
Society garlic  
Turk's cap  
Verbena  
Zinnia  
Yarrow  
Blackeyed Susan Artemesia  
Asparagus Fern  
Cast Iron Plant  
Yellow Bells  
New Gold Lantana Plumbago  
Cherry Sage  
Indigo spires salvia Verbena



# PROHIBITED PLANTS

Non-native, invasive plants are prohibited. Following is a partial list of prohibited plants: Giant reed, Chinaberry tree, Chinese tallow tree, Johnson grass, Japanese honeysuckle, Chinese privet, Glossy privet, Japanese privet, Giant salvinia, Heavenly Bamboo, Bradford Pears, Blackthorn, Mesquite.

# TURFS

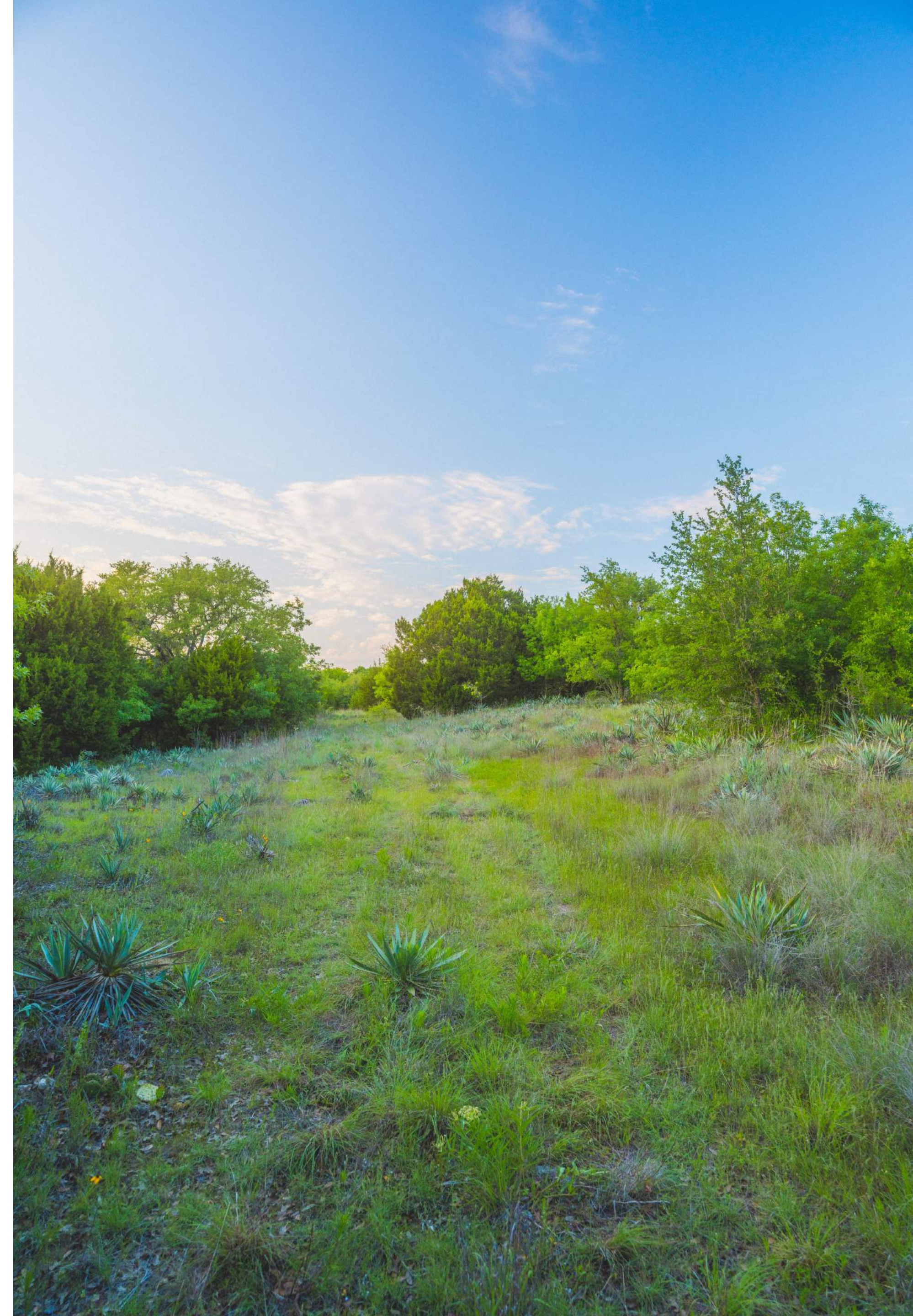
Appropriate native grasses are encouraged wherever possible. Non-native grasses, such as Bermuda, are often invasive and discouraged (but not prohibited in contained lawns or courtyards).

Artificial turf may be allowed in a contained/limited backyard applications, subject to approval on a case by case basis. Artificial turf in the front or side yard is prohibited.

# BOULDERS

When using rocks and boulders, the setting must appear natural. The use of boulders should be consistent with the natural geology of the area.

- Preferably use native stone
- Lay the stone in patterns that appear naturally occurring
- Bury at least 35% of the rock or boulder mass below grade



# IRRIGATION SYSTEMS

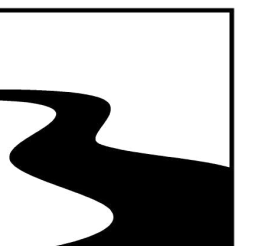
- All Irrigation Plans must be sealed by a Texas Licensed Irrigator.
- All turf and improved or manicured landscape must be irrigated.
- All valve boxes (& controllers, etc.) should be screened from view.
- No water irrigation system may be designed to be sprayed directly onto adjoining lots, roadways, paved surfaces, Aledo River mailboxes or entrance monuments.

# METERS & AIR CONDITIONING COMPRESSORS

- All utility meters, equipment, air conditioning compressors, evaporative coolers and similar items must be noted on the plans and screened from public view or adjoining lots.
- Any location changes during construction will need an amended plan and screening.

# OUTDOOR LIGHTING

- All outdoor lighting will be either gas or soft/warm white electric light (2700K - 3000K), with illumination not to exceed property lines. All outdoor lighting must be pre-approved by the ACC.
- Driveway entrances must incorporate soft entry lighting that is “Dark Sky” friendly. Plans and lighting type must be approved by the ACC.
- All lanterns on the front of the home shall be gas or soft/warm white electric light (2700K - 3000K).
- “Dark Sky” friendly exterior lighting is strongly preferred. Alternative lighting may be considered on a case by case basis with the ACC’s approval.
- Under no circumstances should a light fixture project light or glare onto the street or adjacent property.
- Flood lights are NOT allowed, unless approved by the ACC.
- Shields will be required on any eave light and on up-lights.



# FENCES

All fence design and plans are subject to ACC approval.

## PHILOSOPHY

Fencing should blend and fade into the native Texas landscape.

## PREFERRED & ACCEPTABLE

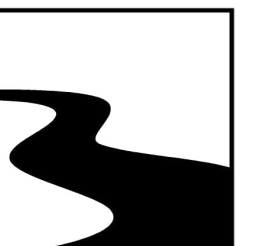
No fencing or minimal fencing is preferred. Some residents may choose to create a fenced in back yard, while other residents may choose to fence their entire property. Both approaches are acceptable in Aledo River.

For FENCE DESIGN, the ACC has different requirements for **1. Non-street adjacent elevations/boundaries** and **2. Street adjacent elevations/boundaries**.

### 1. FENCE DESIGN for non-street adjacent elevations/boundaries

- Fences must be wrought iron, painted black.
  - In lieu of wrought iron fencing, boundary walls made of stone, brick or stucco may be allowed with ACC approval if 1) the wall design compliments the design of the primary residence and 2) the wall design aesthetically blends in with the neighborhood and landscape.
  - Alternative fencing materials may be allowed with ACC approval for fencing along the rear boundary, or any fencing that cannot be seen from the road or adjoining lots.
    - Alternative fencing materials and design that are less disturbing to the native landscape should be considered along heavily wooded property lines
  - Wood may be used for fencing on the north rear boundaries of lots 7, 8, and 9.

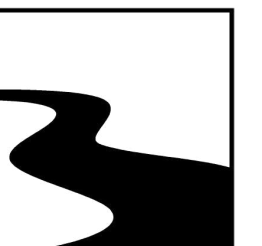
- Pig wire, chicken wire, chain link and similar materials are prohibited without written approval from the ACC.
- Fences on non-street adjacent boundaries may be no taller than 5 feet and no shorter than 3 feet.
  - Exception: fences on the north rear sides of lots 7, 8, and 9 may be up to 8 feet tall.
- Sharp or dangerous points that could harm deer or other natural wildlife are prohibited.
- Fencing within the platted variable drainage easement is strictly prohibited.
- No fencing is allowed within the preservation easements, outlined by the CCRs, without prior written approval by the ACC.
  - If a resident or homebuilder strongly desires fencing in the preservation easement, they must submit a plan they adheres to the following guidelines.
    - Identify all mature trees within ten feet of the proposed fencing design.
    - The destruction of any mature tree within the Preservation easement is strictly prohibited (defined as a tree with a 8 inch diameter at breast height.)
    - Fencing must not encroach on the the root zone of significant trees (12 inch diameter at breast height.)
    - While clearing is prohibited within the preservation easement, light clearing for fence installation may be granted by the ACC along the property line, up to 24 inches on either side of the line.
      - Privacy fencing along the rear property lines of lots 7,8, and 9 is appropriate and may be granted more clearing space for fencing.
    - Alternative fencing materials and design that are less disturbing to the native landscape should be considered within the preservation easements. All materials are subject to the approval of the ACC.



# FENCES - continued

## 2. FENCE DESIGN for street adjacent elevations/boundaries

- Fencing along Jenkins Road adjacent boundaries is appropriate.
- Fencing along North Aledo Road is acceptable and will be permitted by the ACC on a case-by-case basis.
- Street adjacent fences must be wrought iron, painted black.
  - Other materials such as natural stone may be used with the approval of the ACC if they are compatible with the natural landscape and overall design of the development and primary residence.
  - Masonry stone walls or columns may be incorporated with the approval of the ACC if they are compatible with the entrance monuments of the development and blend in with the natural landscape.
  - Any fencing, masonry columns or walls on Lots 1, 2, 15, and 19 must be compatible with the Aledo River entrance monuments.
  - Masonry column and wall designs are subject to the approval of the ACC.
- If you choose to fence the front-facing boundary of your property, entrance masonry columns are mandatory.
  - Refer to section on Entrances & Driveways for design guidelines on masonry columns.
- Fences along street-adjacent boundaries may be no taller than 5' feet and no shorter than 3 feet.
- Fences must be placed behind the dedicated utility easement. Fencing within dedicated right of ways or dedicated utility easements is prohibited.
- Sharp or dangerous points that could harm deer or other natural wildlife are prohibited.
- Fencing within the platted Variable Drainage Easement is strictly prohibited.





# RETAINING WALLS

The maximum height of site retaining walls is four feet (4') unless incorporated into the house foundation (basements). Retaining walls should be built & designed to blend with the existing topography. Where grade changes exceed four feet (4'), terraced wall structures with planting terraces (four feet (4') minimum width) are to be used.

Walls shall be designed with a 2:12 batter if the wall height exceeds two feet (2'). Higher walls may be necessary due to topography and may be approved when such solution would significantly reduce impact to the site and landscape.

- All retaining walls must use stone or a natural stone veneer that matches Aledo River's stone guidelines.
- Retaining walls that occur at property lines may not exceed 4'-0" in height unless approved by ACC.
- If allowed by the ACC, any retaining walls over four feet (4') must be designed by a licensed structural engineer.
- All retaining walls must be compatible with the overall aesthetics and materiality of the primary residence, the landscape, and the character of Aledo River.

# POOLS

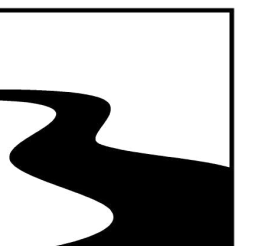
No pool may be erected, constructed or installed without the prior written approval of the ACC.

Above-ground pools are expressly prohibited.

Pool designs must be compatible with the natural landscape and overall design of the primary residence.

All pool and spa equipment shall be fenced or screened and located in either (1) a side yard between the front and rear boundaries of the dwelling, or (2) in the rear yard adjacent to the dwelling; and shall not be visible from the street or any adjoining lot. Noise absorbing covers for equipment may be required if the equipment is audible from adjacent properties.

- Pools shall be located in the rear yard or the main house structure.
- A pool enclosure fence is required to comply with any existing jurisdiction codes. The fence shall be constructed of material consistent with the materials of the residence.
- Pool equipment must be screened from any view, public and private.





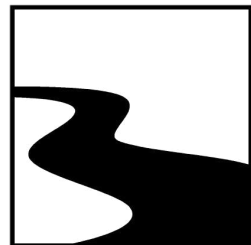
# APPROVED BUILDERS

All builders, including those that are also Lot owners, intending on constructing a Residence on any Lot must be approved by the Architectural Control Committee prior to commencing construction on any Lot.

A current list of pre-approved builders and architects may be found on the Aledo River website at [www.aledoriver.com/design](http://www.aledoriver.com/design)

If you prefer to use a builder not found on the pre-approved list, your builder may initiate the builder application process by visiting [www.aledoriver.com/design](http://www.aledoriver.com/design). Builder approval will be based upon the opinion of the Architectural Control Committee in its sole discretion.

All Architectural Plans shall be designed and sealed by a Currently Registered Architect with the Texas Board of Architectural Examiners.





# SUBMITTAL PROCESS

Plans for all proposed site improvements shall be submitted to the ACC for review. The ACC will endeavor to review and respond to all submittals within 10 days, but no more than 21 days after submission.

You may contact the ACC by emailing [design@aledoriver.com](mailto:design@aledoriver.com) or calling 817.381-9049

**No grading nor any site work or clearing of any kind is to be started until all plans for the Lot including plans for drainage and any other Structures have been approved by the ACC. Approval of each submittal will be provided in writing.**

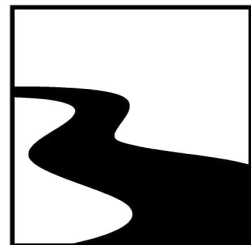
Digital copies for are required each submittal. Submittals should be made as one (1) multi-page PDF file. In addition to the digital submittal, hard copy submittals may be requested by the ACC.

## **Submittal One - Preliminary Submittal**

The first submittal will be reviewed early in the design process, typically at the 20% design stage. Review will confirm that schematic designs are consistent with the Aledo River Design Guidelines, in effort to avoid or correct any item(s) that may require redesign.

## **Submittal Two - Final Design Submittal**

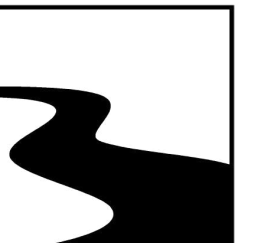
The second submittal is the final review in the design process which occurs before any construction can begin. Review will confirm that the final design is consistent with the Aledo River Design Guidelines.



# PRELIMINARY SUBMITTAL

## PRELIMINARY CHECKLIST

- Electronic set of plans
- Owner's current address, contact information, and Aledo River Lot number
- Site Plan** (min. scale 1" = 20'-0")
  - Existing topography and proposed grading and drainage (1' contour interval)
  - Proposed house pad, water well site, on-site sewage facilities
  - Proposed driveway entrance and layout
  - Existing significant trees (12" diameter at breast height or larger) if any. The plan should specifically denote which significant trees the builder plans to remove and which ones will remain.
  - Building footprint(s) with finished floor grades, proposed driveway, turnarounds, fences, walls, patio, decks, porches, pool location (if any), landscape beds, utility meters and any other site amenities.
  - Easements and setbacks, both platted and outlined by the CCRs.
- Plans - Schematic Floor and Roof** (min. 1/8" = 1'-0")
  - All floor plan layouts of the first and second floors, including any proposed attics, basements and accessory structures
  - Gross building square footage and roof area square footage
  - Roof plan with notations indicating roof slope(s) and materials
- Elevation Schematic** (min. scale 1/8" = 1'-0")
  - Architectural elevations of all four sides of the proposed structure(s)
  - Maximum height dimension of each façade
  - Existing and finish grades
  - Notation of exterior materials
- Variance Request List**
  - List of variance requests for the ACC to review
    - Include description of the variance.
    - Optionally include a narrative that explains why the variance is desired.

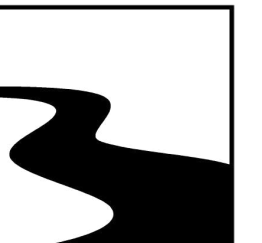


# FINAL SUBMITTAL

No grading nor any site work or clearing of any kind is to be started until all plans for the Lot including plans for drainage and any other Structures has been approved by the ACC.

## FINAL CHECKLIST

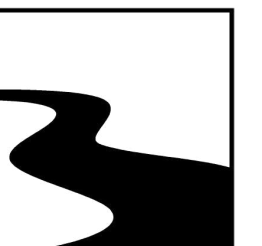
- ❑ **Approved Preliminary Design Review** - One (1) Digital PDF Copy (11" x 17") of the Approved Preliminary Design Review submission; to include comments, suggested corrections, additional variance requests
- ❑ **Submitted Drawings**
  - ❑ Architectural Plans shall be designed and sealed by a Currently Registered Architect with the Texas Board of Architectural Examiners.
  - ❑ Include an Electronic Set
- ❑ **Site Plan** (minimum scale 1" = 20'-0")
  - ❑ Legal description of Lot number, street address and lot size
  - ❑ Dimensioned property lines, slopes, easements and building setbacks.
  - ❑ Existing topography with proposed grading and drainage (1' contour interval).
  - ❑ Proposed grading and drainage to be professionally done and engineered.
  - ❑ All retaining walls over 48" on Site Plans must be designed and sealed by a currently registered Civil Engineer.
  - ❑ The builder must notify the ACC of any significant trees expected to be removed (12" diameter at breast height tree or larger).
  - ❑ Building footprint(s) with finished floor elevations.
- ❑ Driveway, parking areas and turnarounds with surface materials noted.
- ❑ Fence Design - fences, walls, masonry columns to include height and materials selection
- ❑ Water wells and on-site sewage facilities
- ❑ Site amenities; patios, decks, pool/spa, recreational facilities, etc. to include height and materials selection.
- ❑ Indicate location of all mechanical, electrical, satellite, pool/spa equipment and utility meters. If final location changes, an amendment should be submitted showing the location and screening.
- ❑ **Floor Plans** (min. scale 1/4" = 1'-0")
  - ❑ All rooms noted with dimensions, door/window locations and sizes.
  - ❑ Exterior lighting fixtures, fireplaces and kitchen appliances.
  - ❑ Floor plans of all accessory buildings.
  - ❑ Total square footage for all living space including garages and covered porches.
  - ❑ Square footage of all accessory buildings, patios, decks and porches.
- ❑ **Roof Plans** (min. scale 1/8" = 1'-0")
  - ❑ Roof plan noted to indicate roof slopes, gutters/downspouts, plumbing/mechanical vents, satellite equipment, fireplace chimneys, dormers, roof windows and skylights.
  - ❑ Roofing materials and color selection.
  - ❑ Roof Area square footage



# FINAL SUBMITTAL - continued

## **FINAL CHECKLIST - continued**

- **Elevations** (min. scale 1/4" = 1'-0")
  - Architectural elevations of all four sides of the proposed structure(s) with elevations of final grades, finish floors and plate heights.
  - The vertical dimensions of the highest roof ridge, midspan of roof, all other ridge heights, roof slopes and roof overhangs.
- **Sections** (min. scale 1/4" = 1'-0")
  - Building sections as required to illustrate the building interior/ exterior.
  - Vertical dimensions indicating final grade, floors, ceilings and ridge of roofs.
  - Site section as required to describe the building's relationship to adjoining lots.
- **Landscape Plans**
  - Prepared by a certified Landscape Architect or Designer.
  - Landscape plan to include irrigation for turf and improved landscapes, site lighting, plant materials and sizes.
  - Irrigation System plan shall be submitted along with the Final Landscape Plans for review and approval 90 days before to installation.
  - All Irrigation Plans must be sealed by a Texas Licensed Irrigator.
- **Civil, Structural, Mechanical and Electrical Plans**
  - Drawings that may be required to illustrate the exterior design features of the primary residence and secondary structure(s). Drawings necessary for review of compliance with the Design Guidelines.
- **Mock-Up Sample Board**
  - A sample of the exterior building materials and colors for roofing, walls, door, trim, etc. that allow a clear understanding of the final design.
  - Prior to Construction the Owner/Builder will provide a mockup of proposed materials.
  - The mockup shall be at full scale and a minimum of five (5') feet wide by ten (10') feet high which accurately displays all exterior materials, colors, window, corner and trim details, and roofing materials. The Mockup will be set used to shield the portable toilet from view during construction.





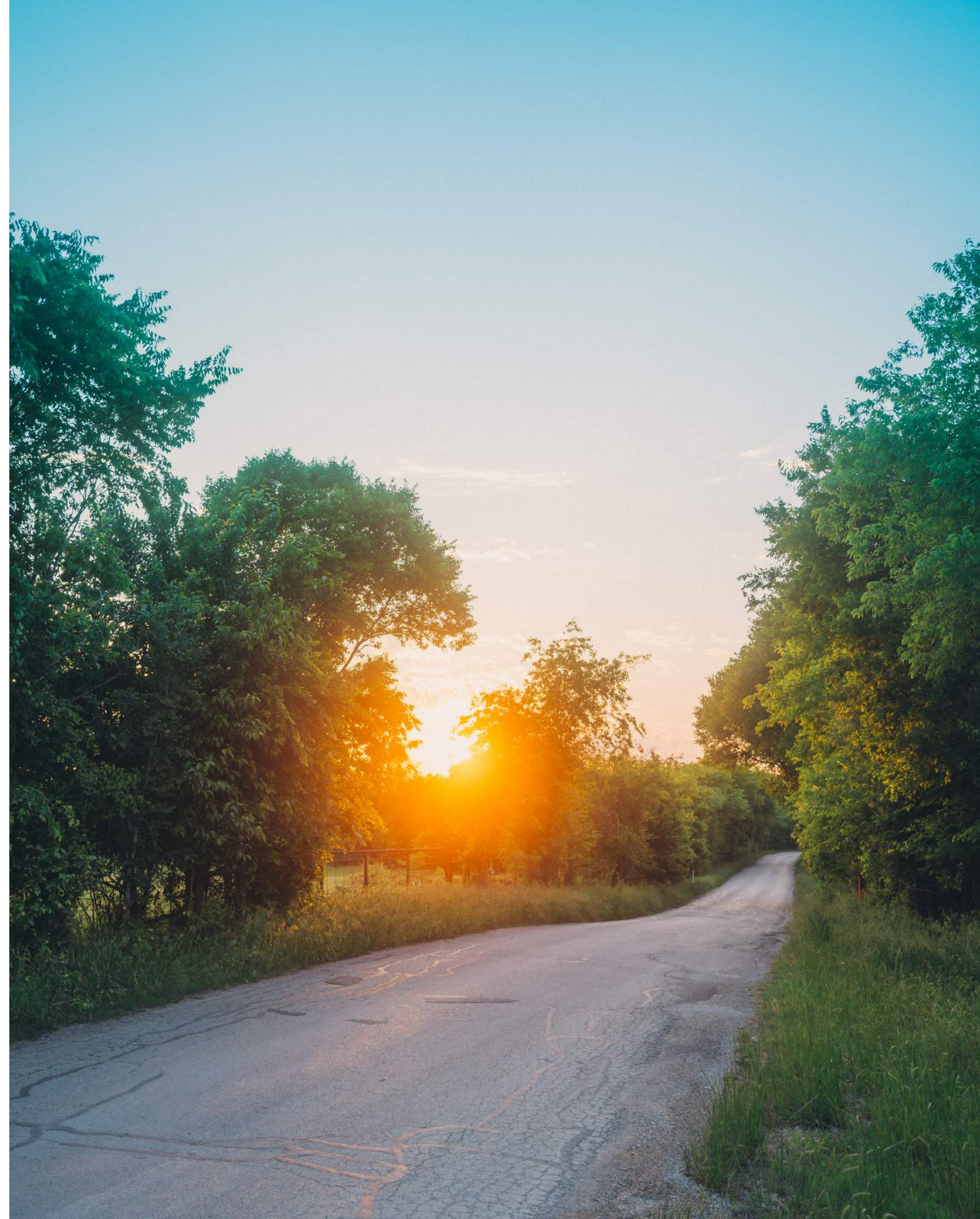
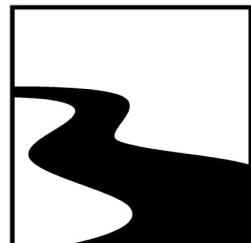
# FINAL APPROVAL

ACC may request a meeting or a site walk during the process in order to better understand the vision before granting written final approval.

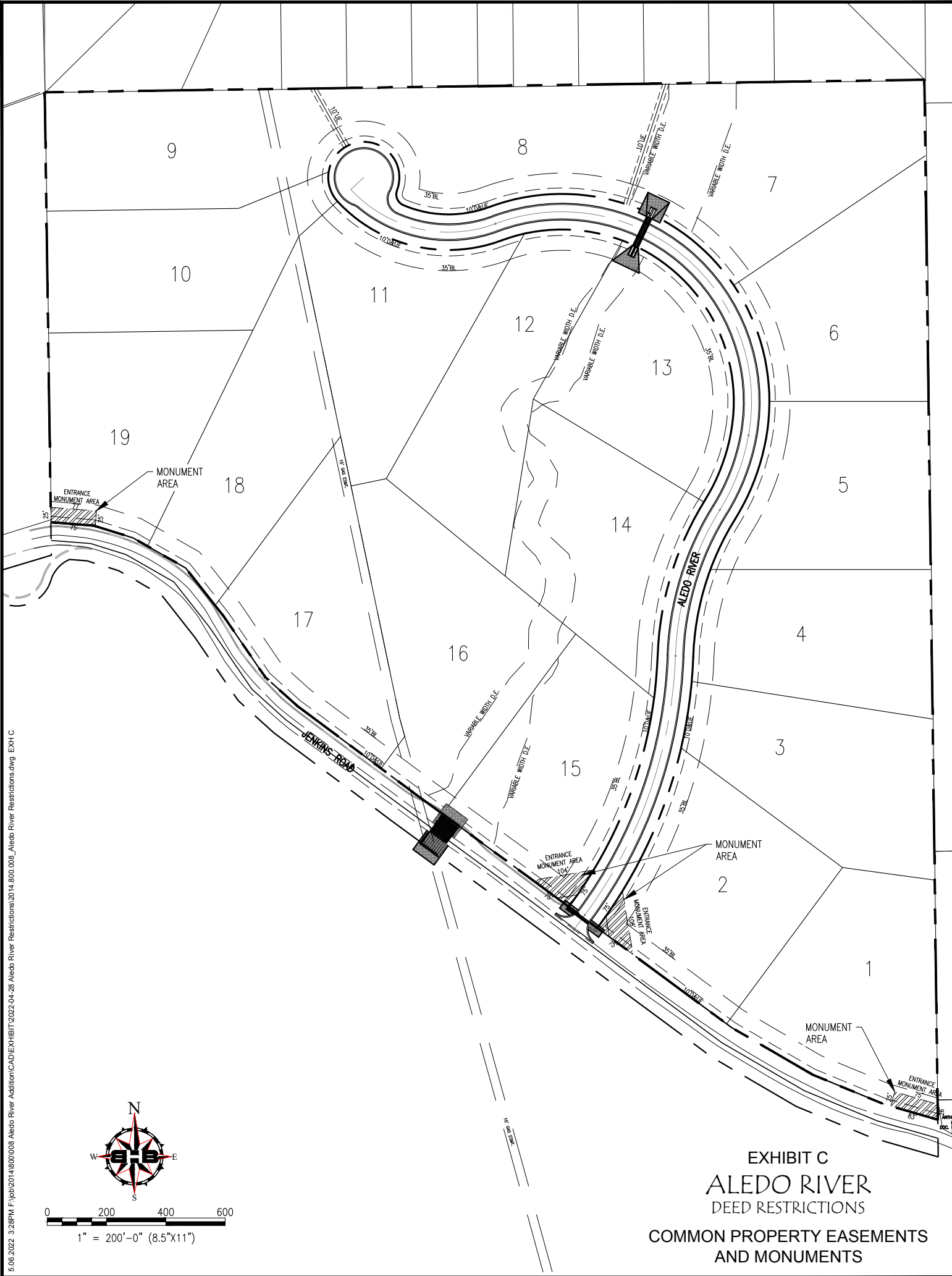
Any modification or change to the approved set of plans must be submitted to the ACC.

The preliminary design review and the final design review shall be free of charge and the fee for subsequent reviews and resubmissions shall be \$250.00 per submission.

\*Interior modifications to the building that do not affect the exterior appearance of the site improvements do not require re-submittal.



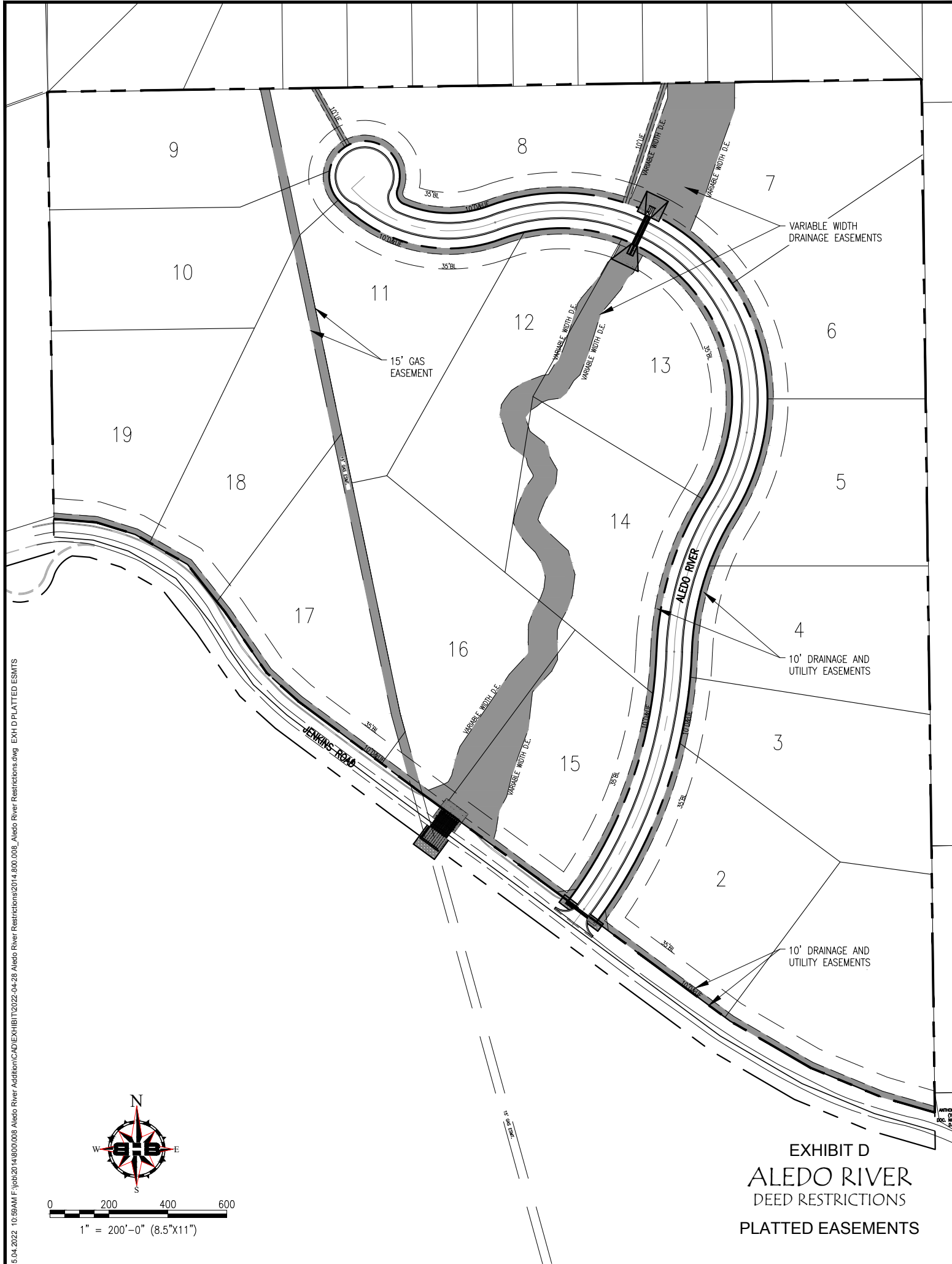




5.06.2022 3:28PM F:\jpb\2014\800\008 Aledo River Additional\CAD\EXHIBIT\2022-04-28 Aledo River Restrictions.dwg EX1C

**EXHIBIT C**  
**ALEDO RIVER**  
**DEED RESTRICTIONS**  
**COMMON PROPERTY EASEMENTS**  
**AND MONUMENTS**

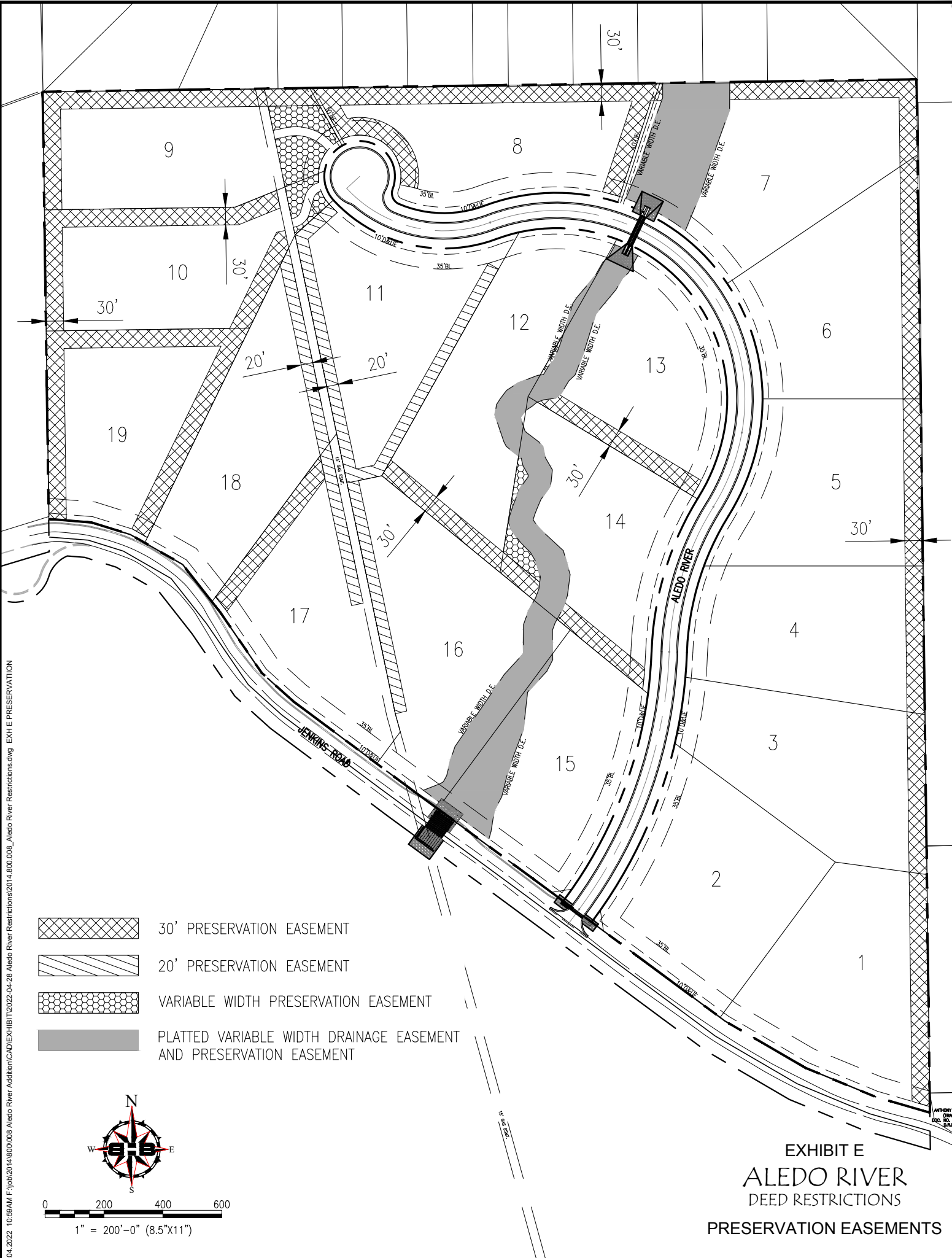
5.04.2022 10:59AM F:\job\2014\800\008 Aledo River Addition\CAD\EXHIBIT\2022-04-28 Aledo River Restrictions\2014.800.008\_Aledo River Restrictions.dwg EXH D PLATTED ESMTS



0 200 400 600  
1" = 200'-0" (8.5"x11")

**EXHIBIT D**  
**ALEDO RIVER**  
**DEED RESTRICTIONS**  
**PLATTED EASEMENTS**

WITHOUT A  
FILED  
NO. 27  
04-28



5.04.2022 10:59AM F:\job\2014\800\008 Aledo River Addition\CAD\EXHIBIT\2022-04-28 Aledo River Restrictions\2014.800.008\_Aledo River Restrictions.dwg EXH E PRESERVATION

- 30' PRESERVATION EASEMENT
- 20' PRESERVATION EASEMENT
- VARIABLE WIDTH PRESERVATION EASEMENT
- PLATTED VARIABLE WIDTH DRAINAGE EASEMENT AND PRESERVATION EASEMENT



0 200 400 600  
1" = 200'-0" (8.5"x11")

EXHIBIT E  
ALEDO RIVER  
DEED RESTRICTIONS  
PRESERVATION EASEMENTS

ANTHONY A. [unreadable]  
[unreadable]  
[unreadable]

5.04.2022 10:59AM F:\job\2014\800\008 Aledo River Addition\CAD\EXHIBIT\2022-04-28 Aledo River Restrictions\2014.800.008\_Aledo River Restrictions.dwg EXH F.DAM



0 200 400 600  
1" = 200'-0" (8.5"X11")

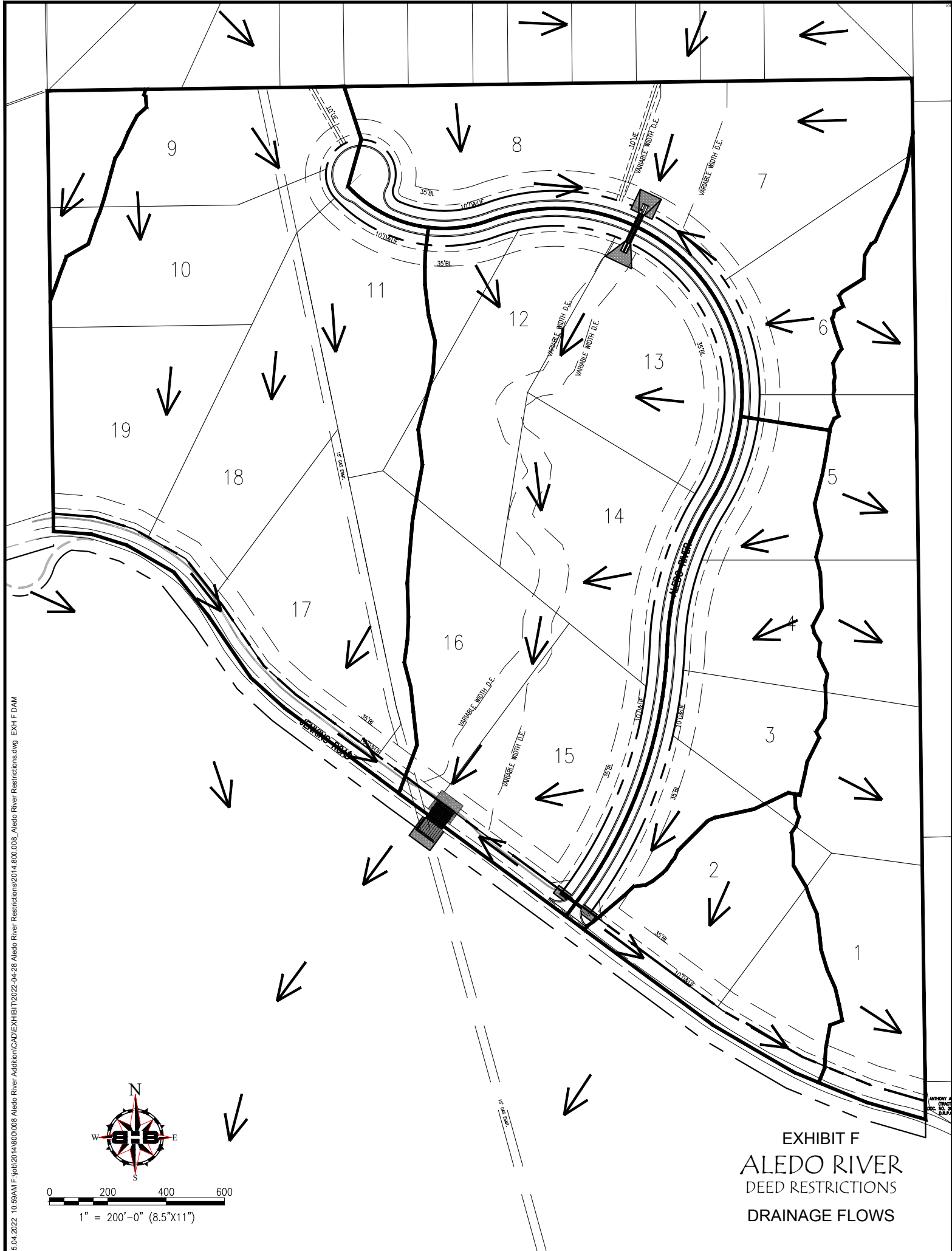


EXHIBIT F  
ALEDO RIVER  
DEED RESTRICTIONS  
DRAINAGE FLOWS

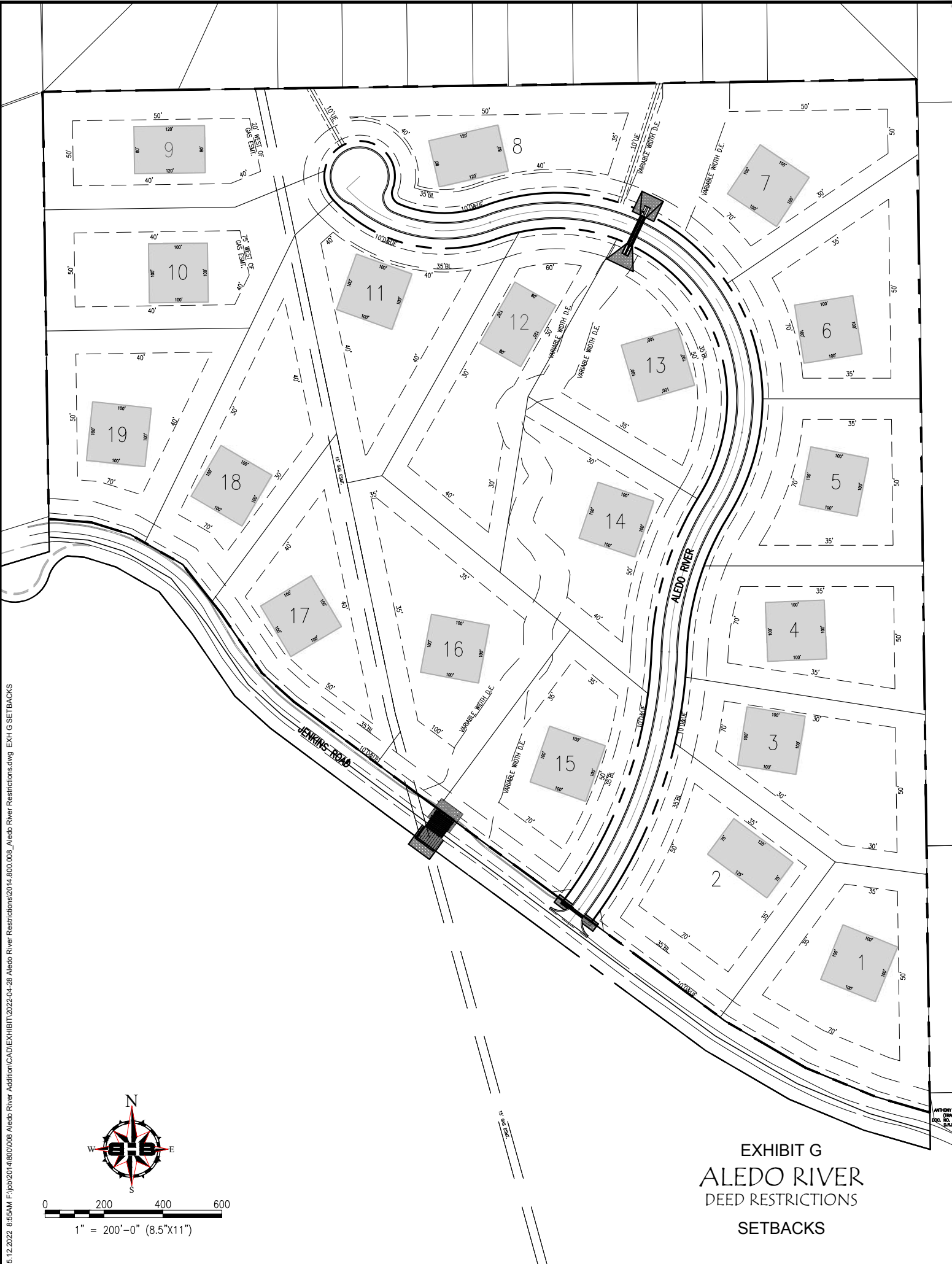
ANTHONY A. [unreadable]  
SAC, INC. [unreadable]  
04.28

5.12.2022 8:55AM F:\job\2014\800\008 Aledo River Addition\CAD\EXHIBIT\2022-04-28 Aledo River Restrictions.dwg EXH G SETBACKS



0 200 400 600  
1" = 200'-0" (8.5"x11")



# EXHIBIT G ALEDO RIVER DEED RESTRICTIONS SETBACKS



ANTHONY A. [unreadable]  
[unreadable]  
[unreadable]

5.04.2022 11:00AM F:\job\2014\800\008 Aledo River Addition\CAD\EXHIBIT\2022-04-28 Aledo River Restrictions.dwg EXH H W WELLS AND SS



 WATER WELLS  
 OSSF SPRAY FIELDS



0 200 400 600  
 1" = 200'-0" (8.5"X11")

EXHIBIT H  
 ALEDO RIVER  
 DEED RESTRICTIONS  
 WATER WELLS AND  
 OSSF SPRAY FIELDS

APPROVED  
 DATE: 05/04/22  
 BY: [Signature]



5.06.2022 3:07PM F:\jpb\2014\800\008 Aledo River Addition\CAD\EXHIBIT\2022-04-28 Aledo River Restrictions.dwg EXH1 HOME AND DRIVES



0 200 400 600  
1" = 200'-0" (8.5"x11")

HOUSE PAD LOCATIONS  
(TYPICAL)

EXHIBIT I  
ALEDO RIVER  
DEED RESTRICTIONS  
HOMES SITES

